

CONSULTANTS

STRAND ASSOCIATES  
629 WASHINGTON ST.  
COLUMBUS, IN 47201  
STRUCTURAL

SSR, INC.  
2995 SIDCO DR.  
NASHVILLE, TN 37204  
MEP

SSR, INC.  
2995 SIDCO DR.  
NASHVILLE, TN 37204  
LANDSCAPING

MKS  
200 S MERIDIAN ST.  
INDIANAPOLIS, IN 46225

OWNER

CITY OF COLUMBUS  
123 WASHINGTON ST.  
COLUMBUS, IN 47201

FACILITY

FAIR OAKS MALL  
2880 25TH ST.  
COLUMBUS, IN 47201

CONTRACTOR

TAYLOR BROS. CONSTRUCTION CO., INC.  
4655 MIDDLE RD.  
COLUMBUS, IN 47203

PROJECT

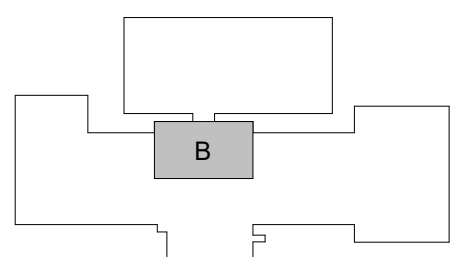
NEXUSPARK



City of Columbus

123 WASHINGTON ST.  
COLUMBUS, IN 47201

KEYPLAN



ISSUE CHART

ISSUED FOR PROPOSAL - ENABLING & PHASE 1A 03/18/2022

ISSUED FOR PROPOSAL - ENABLING & PHASE 1A 03/18/2022

Job Number

TITLE

DEMOLITION PLAN -  
LEVEL 01 - AREA B -  
PHASE 1B

SHEET NUMBER

A04-22



1 DEMOLITION PLAN - LEVEL 01 - AREA B - PHASE 1B  
1/8" = 1'-0"

DEMOLITION PLAN KEYNOTES

LEGEND

- EXISTING DOOR AND FRAME TO REMAIN
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING DOOR AND FRAME TO BE DEMOLISHED
- EXISTING CONSTRUCTION TO BE DEMOLISHED
- KEYNOTE
- EX EXISTING TO REMAIN
- ED EXISTING TO BE DEMOLISHED
- ER EXISTING TO BE RELOCATED

DEMOLITION PLAN GENERAL NOTES

1. THE CONTRACTOR SHALL FIELD SURVEY THE SITE OF PROPOSED WORK TO DETERMINE THE EXTENT AND NATURE OF THE DEMOLITION WORK. REFER TO ALL CONTRACT DOCUMENTS FOR ADDITIONAL REQUIREMENTS AND SCOPE OF DEMOLITION WORK. REFER TO THE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
2. PROTECTION SHALL BE PROVIDED FOR BASE BUILDING CONSTRUCTION AND ALL EXISTING CONSTRUCTION TO REMAIN INCLUDING, BUT NOT LIMITED TO FLOORING, PARTITIONS, WINDOW TREATMENTS, BASEBOARDS, CONNECTORS, DOORS, FRAMES, SOFFITS, FINISHES, ETC.
3. ALL WASTE MATERIALS OF ALL SUBCONTRACTORS SHALL BE REMOVED ON A DAILY BASIS, AND STRICT CONTROL SHALL BE EXERCISED OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS OR DUST FROM AFFECTING ANY FINISHED AREAS, WHETHER WITHIN OR OUTSIDE JOB SITE. BUILDING REFUSE FACILITIES SHALL NOT BE USED FOR THIS PURPOSE, UNLESS ARRANGEMENTS ARE MADE WITH LANDLORD DIRECTLY. DO NOT LET DEBRIS, RUBBISH, OR EXCESS CONSTRUCTION MATERIAL ACCUMULATE NOR OBSTRUCT EXITS AND EXIT PASSAGEWAYS.
4. THE CONTRACTOR SHALL REVIEW ALL EXISTING CONDUIT, WIRING, JUNCTION BOXES, ELECTRICAL COMMUNICATION, AND LIFE SAFETY DEVICES WITH THE LANDLORD AND OWNER PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION WORK. ALL EXISTING ITEMS TO REMAIN SHALL BE PROPERLY MARKED AT THE PROJECT SITE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LANDLORD AND OWNER.
5. COORDINATE WITH OWNER TO VERIFY THAT OWNER HAS REMOVED ALL ITEMS SCHEDULED OR PLANNED TO BE REMOVED BY OWNER.
6. THE CONTRACTOR SHALL PREPARE AN INVENTORY OF EXISTING ITEMS TO BE REUSED, RELOCATED, AND/OR RETURNED TO THE LANDLORD OR OWNER. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND/OR LANDLORD TO RE-TERMINE ITEMS TO BE INVENTORIED, AND THE FORMAT OF THE INVENTORY PRIOR TO THE COMMENCEMENT OF WORK. CAREFULLY REMOVE AND NEATLY STORE AND PROTECT FROM DAMAGE ALL ITEMS IN THE CONTRACT DOCUMENTS TO BE REUSED AND OR RELOCATED AND LOCATION OF ON-SITE AND/OR OFF-SITE STORAGE.
7. ALL MATERIALS WHICH ARE NOT REQUIRED TO BE REUSED AND RELOCATED SHALL BECOME THE PROPERTY OF THE CONTRACTOR. THE CONTRACTOR IS TO BE RESPONSIBLE FOR ALL HAULING AND DISPOSAL OF DEBRIS IN ACCORDANCE WITH STATE LAWS AND LOCAL ORDINANCES.
8. REMOVE ALL CONSTRUCTION INDICATED IN THE DOCUMENTS AS EXISTING TO REMAIN, INCLUDING, BUT NOT LIMITED TO, FLOOR AND CEILING, HANGERS, STRAPS AND MISCELLANEOUS ITEMS, AS APPLICABLE TO THE ITEM BEING REMOVED.
9. WHERE PARTITIONS ARE BEING REMOVED, ALL ELECTRICAL OUTLETS AND SWITCHES SHALL BE DISCONNECTED AT SUPPLY JUNCTION BOXES, UNO.
10. WHERE PARTITIONS ARE BEING REMOVED, THERMOSTATS ARE TO BE REMOVED, STORED, AND RELOCATED AS INDICATED.
11. WHERE PLUMBING, WATER LINES, WASTES, AND VENTS ARE REMOVED, THEY SHALL BE DISCONNECTED AND CAPPED AT THE TAP CONNECTION; ADEQUATELY RECESS TO ACCOMMODATE PATCHING AND FINISH OF THE FINISH SURFACE.
12. WHERE EXISTING PARTITIONS ARE TO REMAIN, REMOVE EXISTING FINISH MATERIALS AND SURFACE MOUNTED ELEMENTS WHERE INDICATED.
13. WHERE TACKLESS CARPET AND/OR PAD ARE BEING REMOVED, REMOVE MECHANICAL ATTACHMENTS TO THE FLOOR. REMOVE ALL ADHESIVE TO LEAVE THE FLOOR WITH A SMOOTH FINISH.
14. WHERE GLUE DOWN CARPET, RESILIENT FLOORING OR OTHER GLUED FLOOR INSTALLATIONS ARE TO BE REMOVED, REMOVE ALL ADHESIVE TO LEAVE THE FLOOR WITH A SMOOTH FINISH.
15. REMOVE ALL LOW VOLTAGE CABLING AND CONNECTORS THAT ARE NOT REQUIRED FOR THE OPERATION OF THE FINAL LOW VOLTAGE SYSTEM.
16. ALL EMPTY CONDUITS TO BE REMOVED.
17. REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED AT NO COST TO OWNER OR ARCHITECT. IMMEDIATELY REPAIR ANY DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION OPERATIONS.

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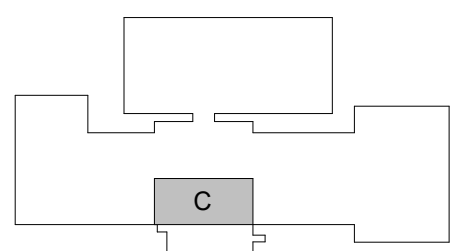
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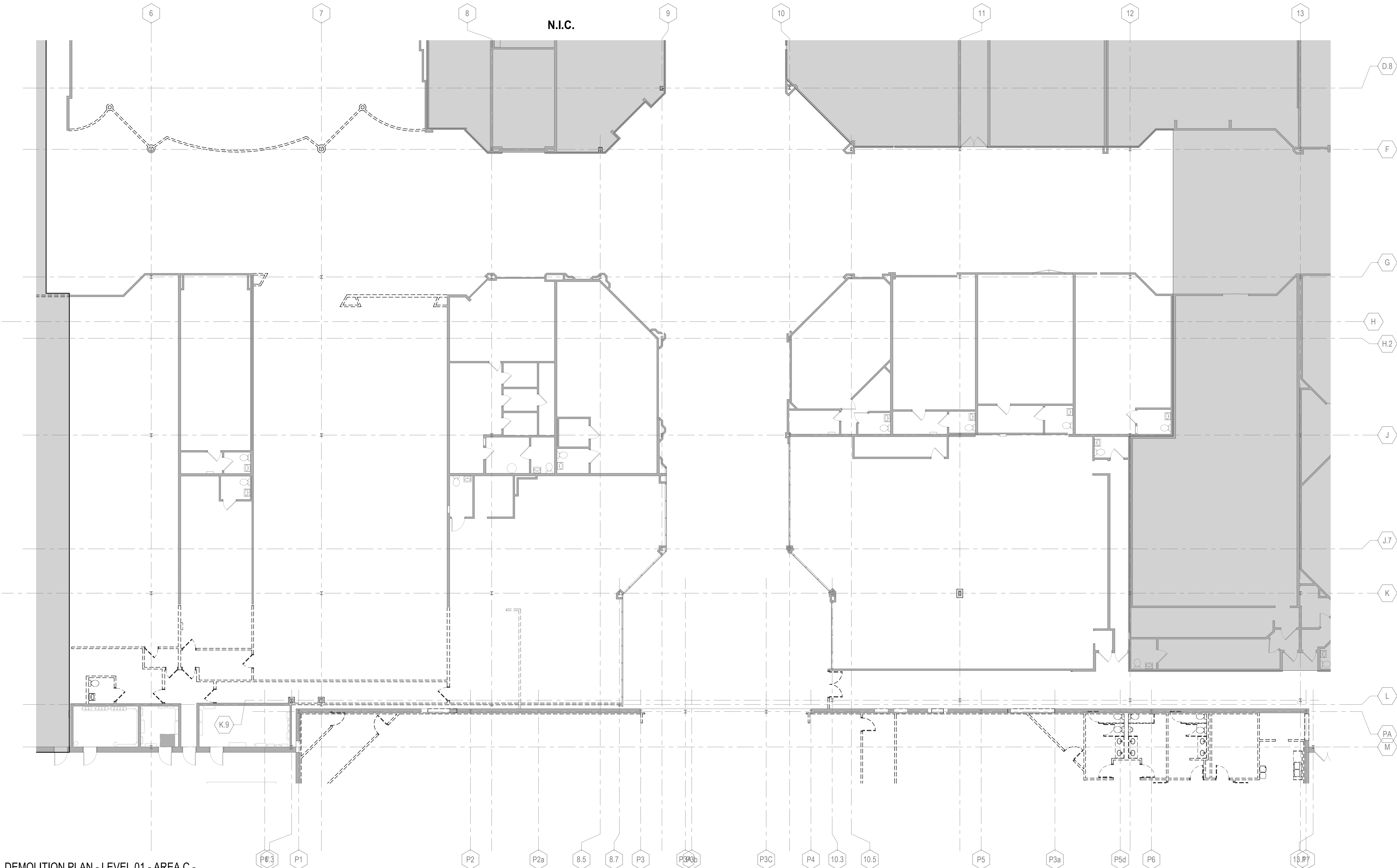
ISSUE	DATE
01	03/18/2022

TITLE

DEMOLITION PLAN -  
LEVEL 01 - AREA C -  
PHASE 1B

SHEET NUMBER

A04-23



DEMOLITION PLAN - LEVEL 01 - AREA C -  
PHASE 1B  
1/8" = 1'-0"

DEMOLITION PLAN KEYNOTES

LEGEND

DEMOLITION PLAN GENERAL NOTES

- EX EXISTING TO REMAIN
- ED EXISTING TO BE DEMOLISHED
- ER EXISTING TO BE RELOCATED

1. THE CONTRACTOR SHALL FIELD SURVEY THE SITE OF PROPOSED WORK TO DETERMINE THE EXTENT AND NATURE OF THE DEMOLITION WORK. REFER TO ALL CONTRACT DOCUMENTS FOR ADDITIONAL REQUIREMENTS AND SCOPE OF DEMOLITION WORK. REFER TO THE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
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3. ALL WASTE MATERIALS OF ALL SUBCONTRACTORS SHALL BE REMOVED ON A DAILY BASIS, AND STRICT CONTROL SHALL BE EXERCISED OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS OR DUST FROM AFFECTING ANY FINISHED AREAS, WHETHER WITHIN OR OUTSIDE JOB SITE. BUILDING REFUSE FACILITIES SHALL NOT BE USED FOR THIS PURPOSE, UNLESS ARRANGEMENTS ARE MADE WITH LANDLORD DIRECTLY. DO NOT LET DEBRIS, RUBBISH, OR EXCESS CONSTRUCTION MATERIAL ACCUMULATE NOR OBSTRUCT EXITS AND EXIT PASSAGEWAYS.
4. THE CONTRACTOR SHALL REVIEW ALL EXISTING CONDUIT, WIRING, JUNCTION BOXES, ELECTRICAL COMMUNICATION, AND LIFE SAFETY DEVICES WITH THE LANDLORD AND OWNER PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION WORK. ALL EXISTING ITEMS TO REMAIN SHALL BE PROPERLY MARKED AT THE PROJECT SITE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LANDLORD AND OWNER.
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8. REMOVE ALL CONSTRUCTION INDICATED IN THE DOCUMENTS AS EXISTING TO BE REMOVED, INCLUDING, BUT NOT LIMITED TO, FLOOR AND CEILING, HANGERS, STRAPS AND MISCELLANEOUS ITEMS. ITEMS ARE TO BE REMOVED TO THE POINT OF REMOVAL.
9. WHERE PARTITIONS ARE BEING REMOVED, ALL ELECTRICAL OUTLETS AND SWITCHES SHALL BE DISCONNECTED AT SUPPLY JUNCTION BOXES, UNO.
10. WHERE PARTITIONS ARE BEING REMOVED, THERMOSTATS ARE TO BE REMOVED, STORED, AND RELOCATED AS INDICATED.
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13. WHERE TACKLESS CARPET AND/OR PAD ARE BEING REMOVED, REMOVE MECHANICAL ATTACHMENTS TO THE FLOOR.
14. WHERE GLUE DOWN CARPET, RESILIENT FLOORING OR OTHER GLUED FLOOR INSTALLATIONS ARE TO BE REMOVED, REMOVE ALL ADHESIVE TO LEAVE THE FLOOR WITH A SMOOTH FINISH.
15. REMOVE ALL LOW VOLTAGE CABLING AND CONNECTORS THAT ARE NOT REQUIRED FOR THE OPERATION OF THE FINAL LOW VOLTAGE SYSTEM.
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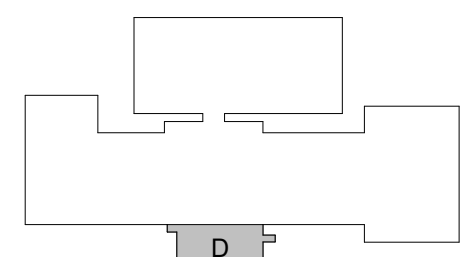
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KEY PLAN



ISSUE CHART

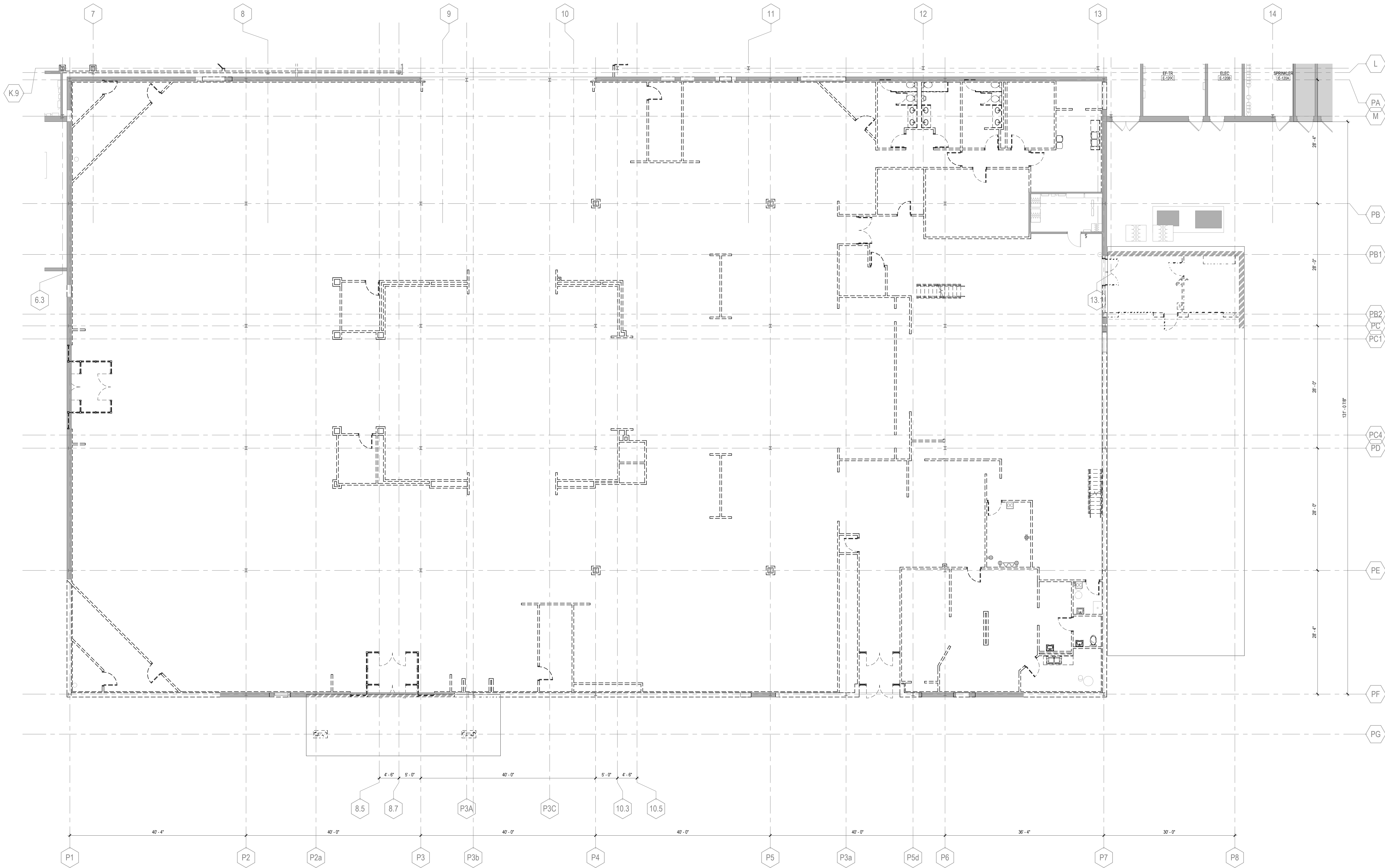
DATE  
Job Number

TITLE

DEMOLITION PLAN -  
LEVEL 01 - AREA D -  
PHASE 1B

SHEET NUMBER

A04-24



DEMOLITION PLAN - LEVEL 01 - AREA D -  
PHASE 1B  
1/8" = 1'-0"

DEMOLITION PLAN KEYNOTES

LEGEND

DEMOLITION PLAN GENERAL NOTES

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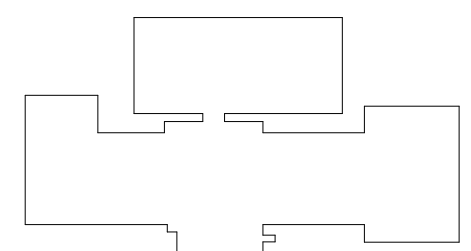
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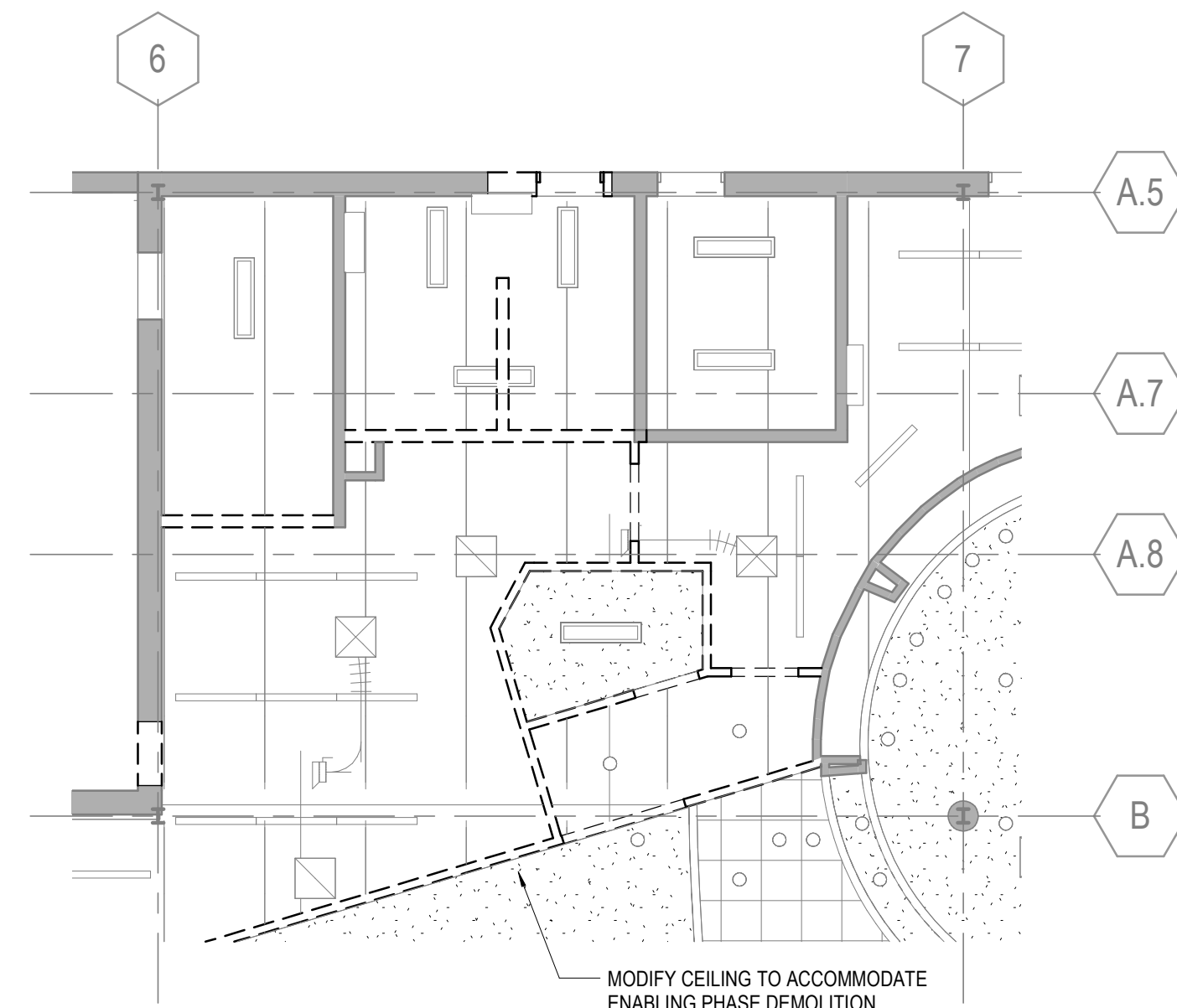


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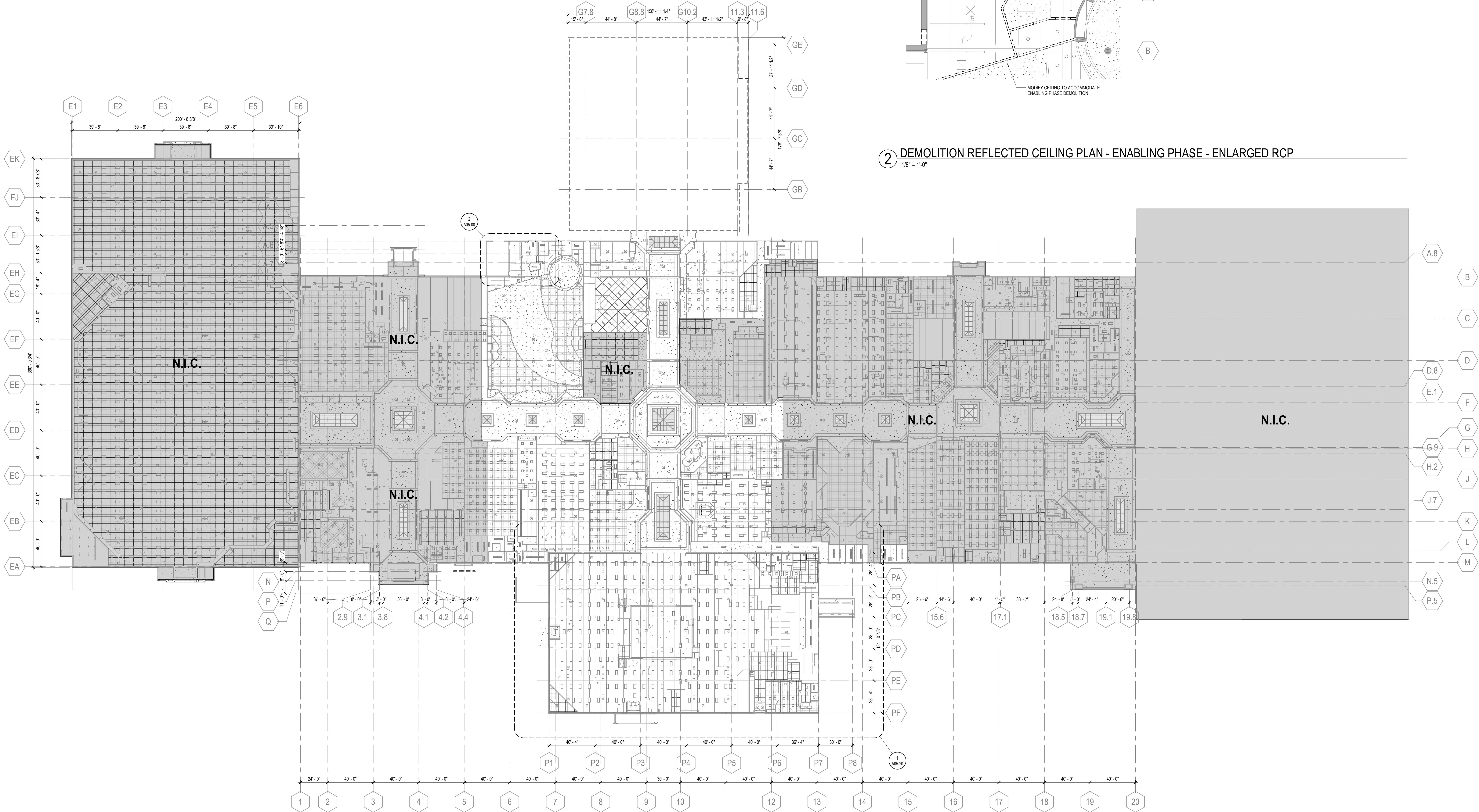
ISSUED FOR PROPOSAL - ENABLING & PHASE 1A 03/18/2022

Job Number  
**DEMOLITION  
REFLECTED CEILING  
PLAN - LEVEL 01 -  
OVERALL - ENABLING  
PHASE**  
SHEET NUMBER

**A05-00**



② DEMOLITION REFLECTED CEILING PLAN - ENABLING PHASE - ENLARGED RCP  
1/8" = 1'-0"



① DEMOLITION REFLECTED CEILING PLAN - LEVEL 01 - OVERALL - ENABLING PHASE  
1/32" = 1'-0"

① DEMOLITION CEILING PLAN KEYNOTES

LEGEND

DEMOLITION REFLECTED CEILING PLAN GENERAL NOTES

- DENOTES AREA "NOT IN CONTRACT"
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED
- EXISTING 2X2 GRID TO BE DEMOLISHED
- KEYNOTE
- FIXTURE TO REMAIN
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- FIXTURE TO BE RELOCATED

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- ALL WASTE MATERIALS OF ALL SUBCONTRACTORS SHALL BE REMOVED ON A DAILY BASIS, AND STRICT CONTROL SHALL BE EXERCISED OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS OR DUST FROM AFFECTING ANY FINISHED AREAS WHETHER WITHIN OR OUTSIDE JOB SITE. BUILDING REFUSE FACILITIES SHALL NOT BE USED FOR THE PARKING, UNLESS ARRANGEMENTS ARE MADE WITH LANDLORD DIRECTLY. DO NOT LET DEBRIS, RUBBISH, OR EXCESS CONSTRUCTION MATERIAL ACCUMULATE NOR OBSTRUCT EXITS AND EXIT PASSAGeways.
- THE CONTRACTOR SHALL REVIEW ALL EXISTING CONDUIT, WIRING, JUNCTION BOXES, ELECTRICAL COMMUNICATION, AND LIFE SAFETY DEVICES WITH THE LANDLORD AND OWNER PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION WORK. ALL EXISTING ITEMS TO REMAIN SHALL BE PROPERLY MARKED AT THE PROJECT SITE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LANDLORD AND OWNER.
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- WHERE PLUMBING, WATER LINES, WASTES, AND VENTS ARE REMOVED, THEY SHALL BE DISCONNECTED AND CAPPED AT THE TOP CONNECTION, ADEQUATELY RECESS TO ACCOMMODATE PATCHING AND FINISH OF THE FINISH SURFACE.
- REMOVE ALL LOW VOLTAGE CABLES AND CONNECTORS THAT ARE NOT REQUIRED FOR THE OPERATION OF THE FINAL LOW VOLTAGE SYSTEM.
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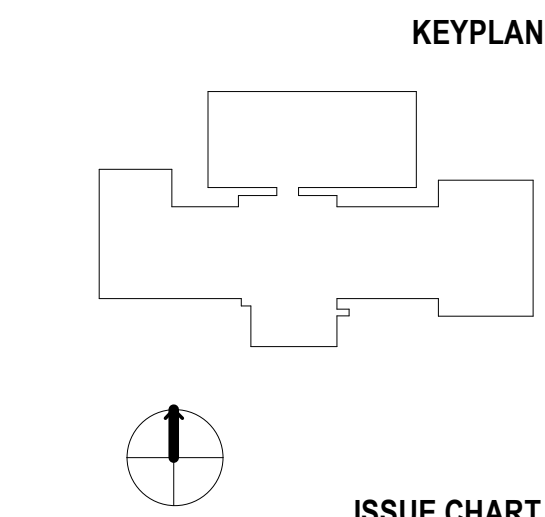
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ISSUED FOR PROPOSAL - ENABLING & PHASE 1A 03/18/2022



ISSUE CHART

100% SCHEMATIC DESIGN 09/24/2021

DATE

TITLE

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REFLECTED CEILING

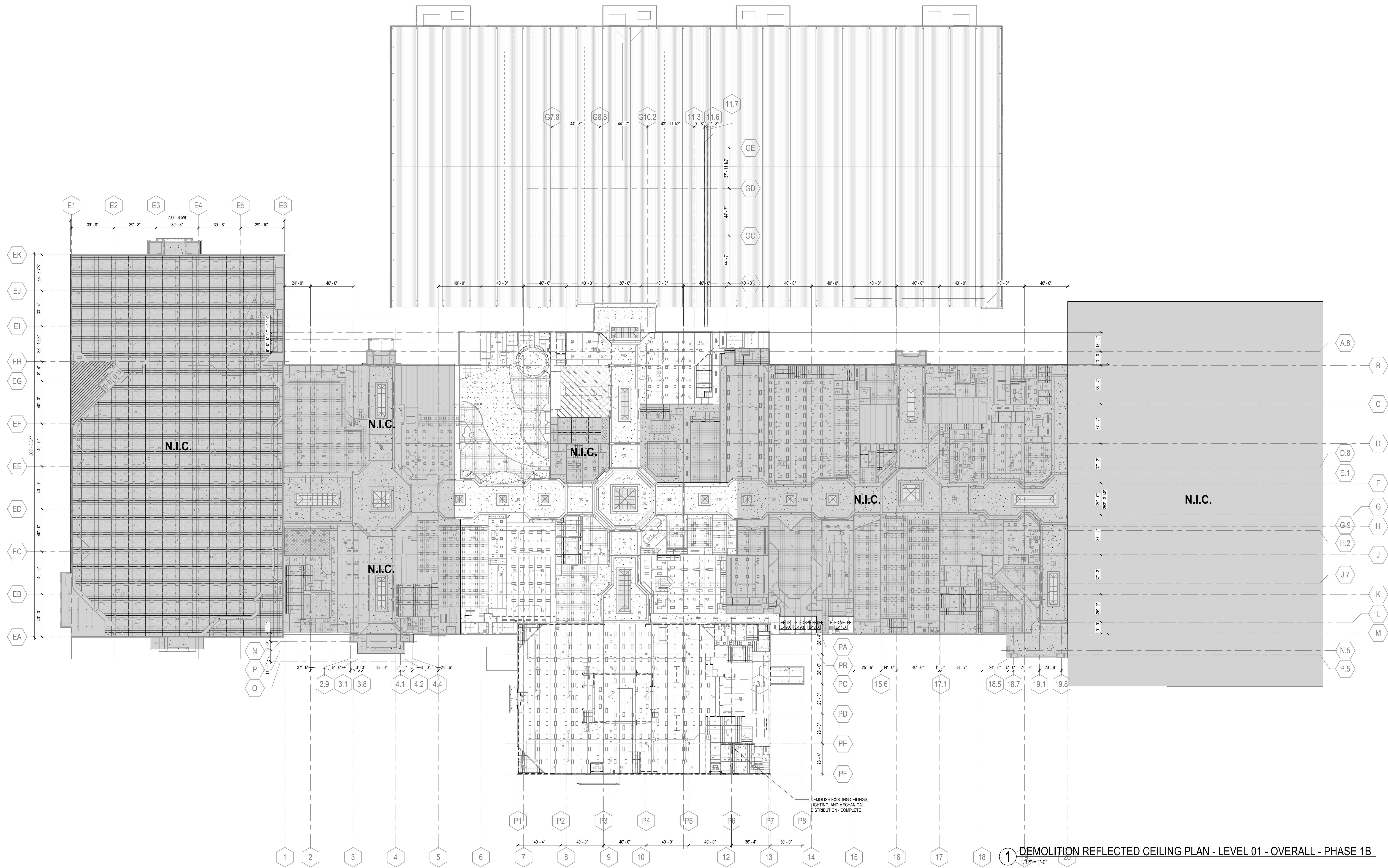
PLAN - LEVEL 01 -

OVERALL - PHASE 1B

SHEET NUMBER

A05-20

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1 DEMOLITION REFLECTED CEILING PLAN - LEVEL 01 - OVERALL - PHASE 1B  
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- FIXTURE TO BE RELOCATED

DEMOLITION REFLECTED CEILING PLAN GENERAL NOTES

1. THE CONTRACTOR SHALL FIELD SURVEY THE SITE OF PROPOSED WORK TO DETERMINE THE EXTENT AND NATURE OF THE DEMOLITION WORK. REFER TO ALL CONTRACT DOCUMENTS FOR ADDITIONAL REQUIREMENTS AND SCOPE OF DEMOLITION WORK. REFER TO THE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
2. PROTECTION SHALL BE PROVIDED FOR BASE BUILDING CONSTRUCTION AND ALL EXISTING CONSTRUCTION TO REMAIN INCLUDING, BUT NOT LIMITED TO: FLOORING, PARTITIONS, WINDOW TREATMENTS, BASEBOARDS, CONNECTORS, DOORS, FRAMES, SOFFITS, FINISHES, ETC.
3. ALL WASTE MATERIALS OF ALL SUBCONTRACTORS SHALL BE REMOVED ON A DAILY BASIS, AND STRICT CONTROL SHALL BE EXERCISED OVER JOB CLEARING TO PREVENT ANY DIRT, DEBRIS OR DUST FROM AFFECTING ANY FINISHED AREAS WHETHER WITHIN OR OUTSIDE JOB SITE. BUILDING REFUSE FACILITIES SHALL NOT BE USED FOR THE PARKING. UNLESS ARRANGEMENTS ARE MADE WITH LANDLORD DIRECTLY, DO NOT LET DEBRIS, RUBBISH, OR EXCESS CONSTRUCTION MATERIAL ACCUMULATE NOR OBSTRUCT EXITS AND EXIT PASSAGEWAYS.
4. THE CONTRACTOR SHALL REVIEW ALL EXISTING CONDUIT, WIRING, JUNCTION BOXES, ELECTRICAL COMMUNICATION, AND LIFE SAFETY DEVICES WITH THE LANDLORD AND OWNER PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION WORK. ALL EXISTING ITEMS TO REMAIN SHALL BE PROPERLY MARKED AT THE PROJECT SITE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LANDLORD AND OWNER.
5. COORDINATE WITH OWNER TO VERIFY THAT OWNER HAS REMOVED ALL ITEMS SCHEDULED OR PLANNED TO BE REMOVED BY OWNER.
6. THE CONTRACTOR SHALL PREPARE AN INVENTORY OF EXISTING ITEMS TO BE REUSED, RELOCATED, AND/OR RETURNED TO THE LANDLORD OR OWNER. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND/OR LANDLORD TO DETERMINE ITEMS TO BE INVENTORIED, AND THE FORMAT OF THE INVENTORY PRIOR TO THE COMMENCEMENT OF WORK. CAREFULLY REMOVE AND NEATLY STORE AND PROTECT FROM DAMAGE ALL ITEMS IN THE CONTRACT DOCUMENTS TO BE REUSED AND/OR RELOCATED AND LOCATION OF ON-SITE AND/OR OFF-SITE STORAGE.
7. ALL MATERIALS WHICH ARE NOT REQUIRED TO BE REUSED AND RELOCATED SHALL BECOME THE PROPERTY OF THE CONTRACTOR. THE CONTRACTOR IS TO BE RESPONSIBLE FOR ALL HAULING AND DISPOSAL OF DEBRIS IN ACCORDANCE WITH STATE LAWS AND LOCAL ORDINANCES.
8. REMOVE ALL CONSTRUCTION INDICATED IN THE DOCUMENTS AS EXISTING TO BE REMOVED, INCLUDING, BUT NOT LIMITED TO: FLOOR AND CEILING, HANGERS, STRAPS AND MISCELLANEOUS APPURTENANCES RELATED TO THE ITEMS BEING REMOVED.
9. WHERE PLUMBING, WATER LINES, WASTES, AND VENTS ARE REMOVED, THEY SHALL BE DISCONNECTED AND CAPPED AT THE TAP CONNECTION, ADEQUATELY RECESS TO ACCOMMODATE PATCHING AND FINISH OF THE FINISH SURFACE.
10. REMOVE ALL LOW VOLTAGE CABLES AND CONNECTORS THAT ARE NOT REQUIRED FOR THE OPERATION OF THE FINAL LOW VOLTAGE SYSTEM.
11. ALL EMPTY CONDUITS TO BE REMOVED.
12. REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED AT NO COST TO OWNER OR ARCHITECT. IMMEDIATELY REPAIR ANY DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION OPERATIONS.



CONSULTANTS

STRAND ASSOCIATES

629 WASHINGTON ST.  
COLUMBUS, IN 47201

STRUCTURAL

SSR, INC.

2995 SIDCO DR.  
NASHVILLE, TN 37204

MEP

SSR, INC.

2995 SIDCO DR.  
NASHVILLE, TN 37204

LANDSCAPE

MKS

200 S MERIDIAN ST.  
INDIANAPOLIS, IN 46225

OWNER

CITY OF COLUMBUS

123 WASHINGTON ST.  
COLUMBUS, IN 47201

FACILITY

FAIR OAKS MALL

2880 25TH ST.  
COLUMBUS, IN 47201

CONTRACTOR

TAYLOR BROS. CONSTRUCTION CO., INC.

4655 MIDDLE RD.  
COLUMBUS, IN 47203

PROJECT

NEXUSPARK

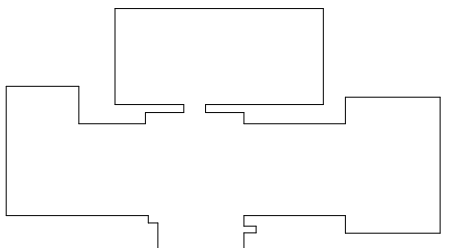
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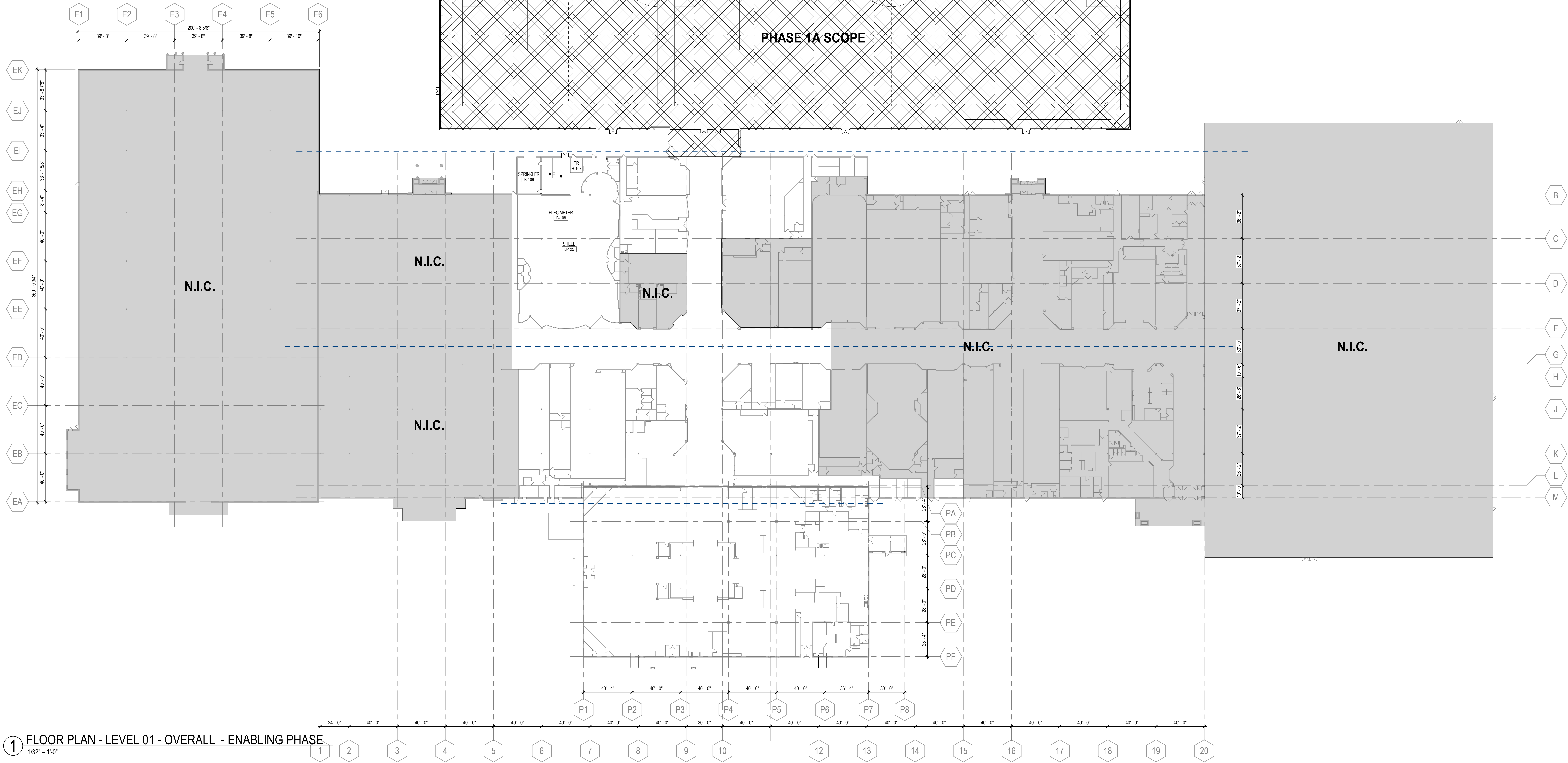
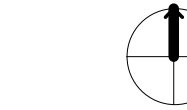
City of Columbus

123 WASHINGTON ST.  
COLUMBUS, IN 47201

KEYPLAN



ISSUE CHART

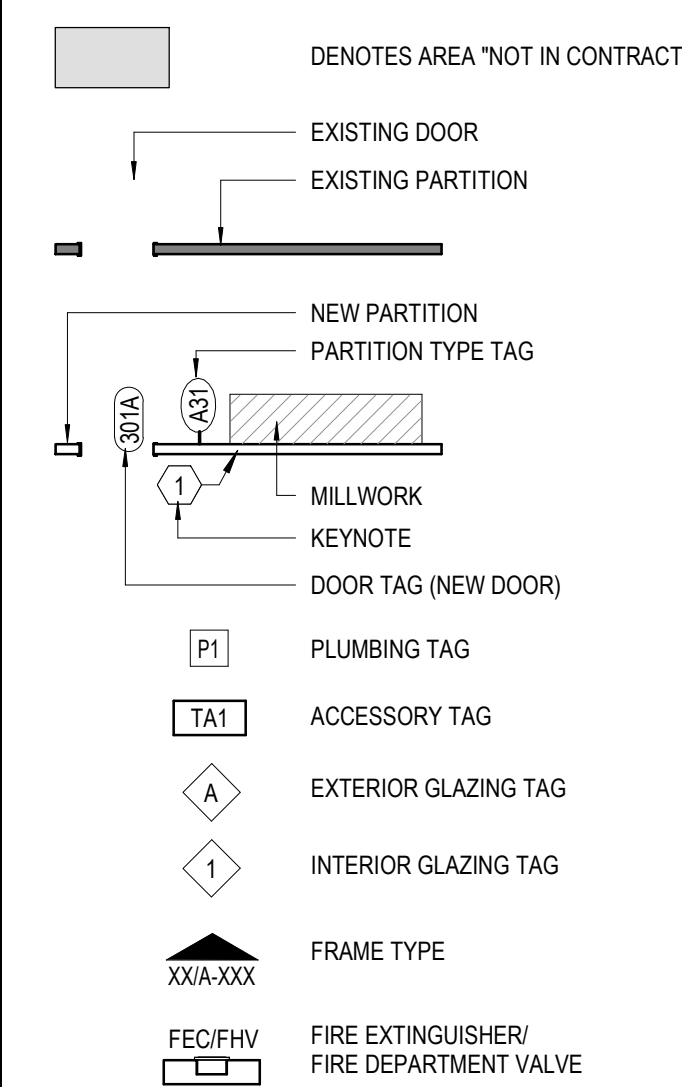


1 FLOOR PLAN - LEVEL 01 - OVERALL - ENABLING PHASE  
1/32" = 1'-0"

FLOOR PLAN KEYNOTES

LEGEND

FLOOR PLAN GENERAL NOTES



1. ALL NEW PARTITIONS SHALL BE TYPE "\_\_\_" UNO. REFER TO SHEET A\_\_\_ FOR MORE INFORMATION. PARTITION TYPES AND FIRE RESISTIVE RATINGS INDICATED ARE TO BE CONTINUOUS FOR THE LENGTH AND HEIGHT OF THE PARTITION, INCLUDING ABOVE DOORS AND GLAZING.
2. THE CONTRACTOR SHALL PATCH AND REPAIR ALL EXISTING & NEW WALL SURFACES PRIOR TO APPLYING FINISHES.
3. WHERE EXISTING WALL BASE OR WALLCOVERING HAS BEEN REMOVED, SKIM COAT WALL SURFACE TO MAKE SMOOTH TO MATCH ADJACENT CONSTRUCTION SO AS NOT TO TELEGRAPH THROUGH NEW FINISH.
4. WHERE PARTITION IS TO ALIGN WITH THE FACE OF AN EXISTING DRYWALL CORNER OR EDGE, REMOVE THE EXISTING CORNER BEAD, TAPE, APPLY JOINT COMPOUND, AND SAND SMOOTH. NEW AND EXISTING DRYWALL TO BE IN THE SAME PLANE WITH NO VISIBLE JOINTS.
5. OPENINGS IN GYPSUM BOARD FOR ELECTRICAL AND COMMUNICATION RECEPTACLE, PIPING, DUCTWORK AND OTHER PENETRATIONS SHALL MAINTAIN TIGHT TOLERANCES, WITHIN 1/2 INCH OF EDGE OF PENETRATING ELEMENT. EXPOSED EDGES SHALL BE COVERED BY TRIM PLATES OR ESCUTCHEONS.
6. SEAL PENETRATIONS IN GYPSUM BOARD CONSTRUCTION ABOVE FINISHED CEILING TO PREVENT SOUNDS LEAKAGE AT ACoustICAL PARTITIONS AND AT DEMISING PARTITIONS, UNLESS NOTED OTHERWISE. PENETRATIONS AND OPENINGS ABOVE CEILING IN EXISTING PARTITIONS SHALL BE FILLED OR SEALED TO MATCH EXISTING WALL CONSTRUCTION.
7. OPENINGS IN RATED WALLS, FLOORS, CEILINGS AND ROOF ASSEMBLIES SHALL BE SEALED WITH A FIRE RESISTIVE JOINT SYSTEM OR PROTECTED WITH A FIRE-RATED CHASE.
8. ALL GYPSUM BOARD WALLS TO RECEIVE TILE OR TRIP FINISHES SHALL HAVE TILE BACKER BOARD. GYPSUM BOARD AT OTHER WALLS IN TOILET ROOMS AND KITCHENS TO BE WATER-RESISTANT GYPSUM BOARD. ALL GYPSUM BOARD CEILINGS PROVIDED IN FOOD SERVICE AREAS AND TOILET ROOMS SHALL BE WATER-RESISTANT GYPSUM BOARD.
9. ALL EXISTING CONCRETE WALLS AND CONCRETE OR STEEL COLUMNS ARE TO BE FURRED-OUT WITH METAL STUDS OR HAT CHANNELS AS MINIMALLY AS REQUIRED FOR THE INSTALLATION OF CONDUIT, JUNCTION BOXES, ACCESSORIES, BLOCKING, ETC. EXCEPT WHERE THE WALLS AND COLUMN ENCLOSURES ARE REQUIRED TO ALIGN OR ARE DIMENSIONED TO THE CONTRARY.
10. PROVIDE METAL BACKING PLATES OR FIRE-TREATED WOOD BLOCKING IN PARTITIONS FOR ALL WALL-ANCHORED CASEWORK, MILLWORK, FURNITURE, TISSUE MONITORS, ARTWORK, GRAB BARS, RAILINGS, SHELVING, AND OTHER WALL-ATTACHED ITEMS. COORDINATE WITH FURNITURE PLANS AND SPECIFICATIONS FOR WALL-MOUNTED FURNITURE LOCATIONS. COORDINATE PLACEMENT AND INSTALL BLOCKING PRIOR TO CLOSING WALLS.
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B. ALIGN LOCATE PARTITION FLUSH WITH FACE OF GYPSUM BOARD, OR OTHER SURFACE INDICATED.  
C. MAINTAIN DIMENSIONS NOTED AS MINIMUM, CLEAR, OR HOLD.
14. WHEN UNDIMENSIONED PARTITIONS APPEAR IN CONJUNCTION WITH DOOR OPENINGS, DOOR WIDTH AND DOOR FRAME DETAILS DETERMINE LOCATION OF ADJACENT WALLS AND FRAMES.
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16. LAYOUT PARTITIONS FOR ARCHITECT TO REVIEW FOR DESIGN INTENT. DO NOT PROCEED WITH INSTALLATION OF RUNNERS OR STUDS WITHOUT THIS REVIEW.
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Job Number

TITLE

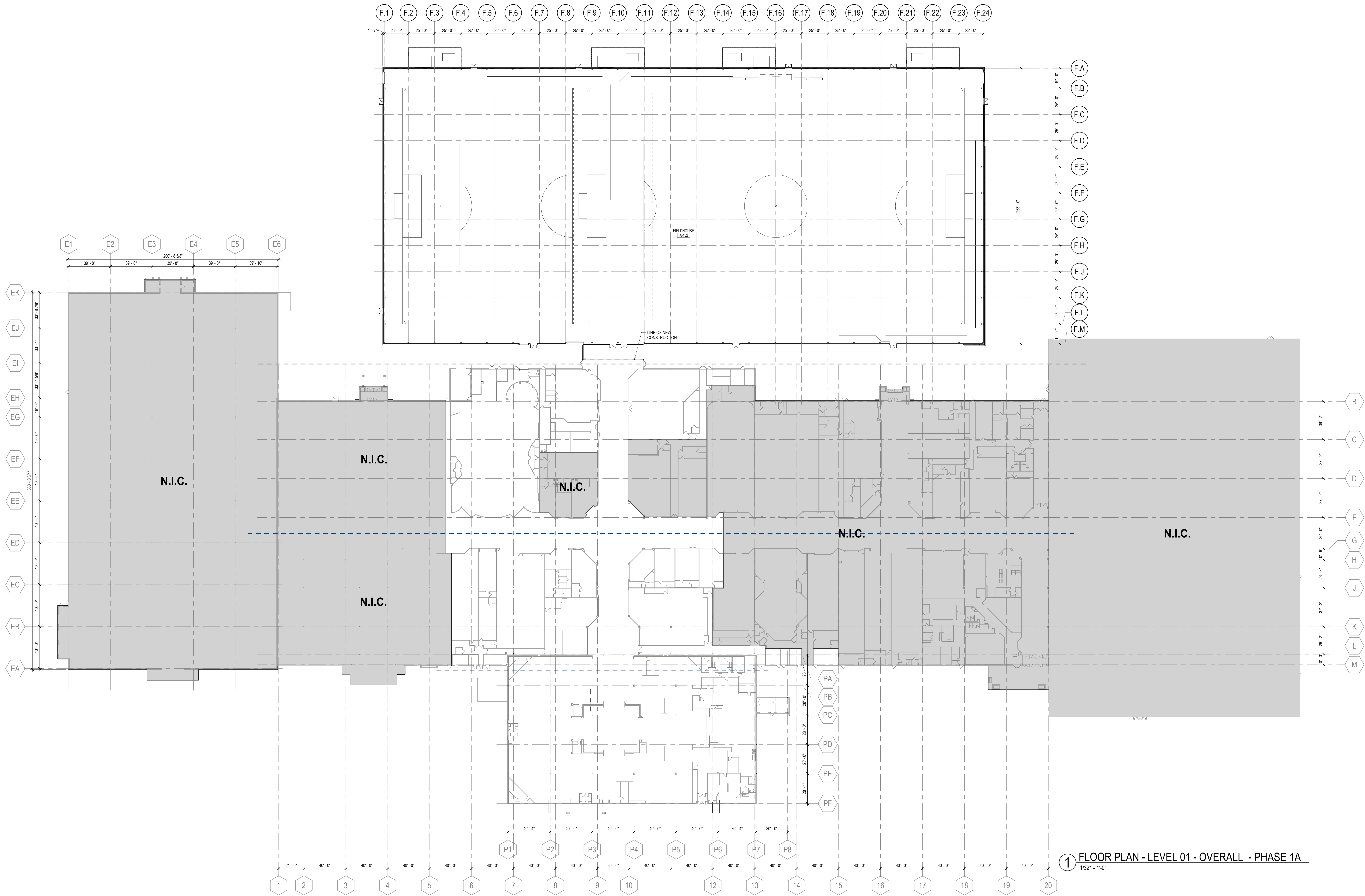
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SHEET NUMBER

A11-00



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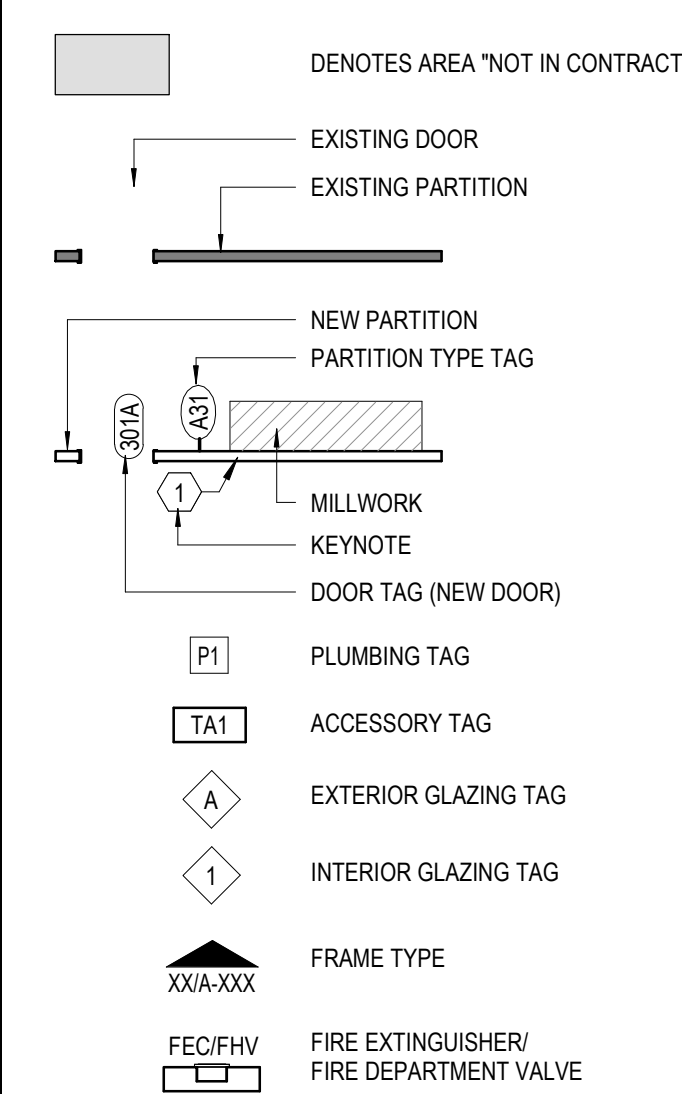


1 FLOOR PLAN - LEVEL 01 - OVERALL - PHASE 1A  
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#### FLOOR PLAN KEYNOTES

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## Perkins&Will

The Wrigley Building  
410 North Michigan Ave.  
Suite 1600  
Chicago, IL 60611  
1312.765.0710  
1312.765.0775  
www.perkinswill.com

#### CONSULTANTS

STRAND ASSOCIATES  
629 WASHINGTON ST.  
COLUMBUS, IN 47201  
STRUCTURAL  
SSR, INC.  
2995 SIDCO DR.  
NASHVILLE, TN 37204  
MEP  
SSR, INC.  
2995 SIDCO DR.  
NASHVILLE, TN 37204  
LANDSCAPING  
MKSK  
200 S MERIDIAN ST.  
INDIANAPOLIS, IN 46225

#### OWNER

CITY OF COLUMBUS  
123 WASHINGTON ST.  
COLUMBUS, IN 47201  
FACILITY  
FAIR OAKS WALL  
2880 20TH ST.  
COLUMBUS, IN 47201  
CONTRACTOR  
TAYLOR BROS. CONSTRUCTION CO., INC.  
4655 MIDDLE RD.  
COLUMBUS, IN 47203

#### PROJECT

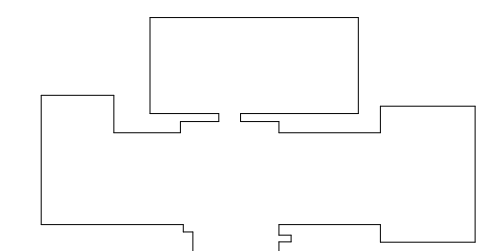
#### NEXUSPARK



#### City of Columbus

123 WASHINGTON ST.  
COLUMBUS, IN 47201

#### KEY PLAN



#### ISSUE CHART

ISSUE CHART  
DATE  
REVISION  
DATE

#### TITLE

FLOOR PLAN - LEVEL  
01 - OVERALL - PHASE  
1A

#### SHEET NUMBER

A11-10

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CONSULTANTS

STRAND ASSOCIATES  
620 WASHINGTON ST.  
COLUMBUS, IN 47201  
STRUCTURAL  
SSR, INC.  
2985 SIDCO DR.  
NASHVILLE, TN 37204  
MEP  
SSR, INC.  
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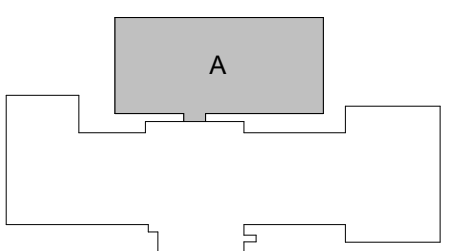
NEXUSPARK



City of Columbus

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KEY PLAN



ISSUE CHART

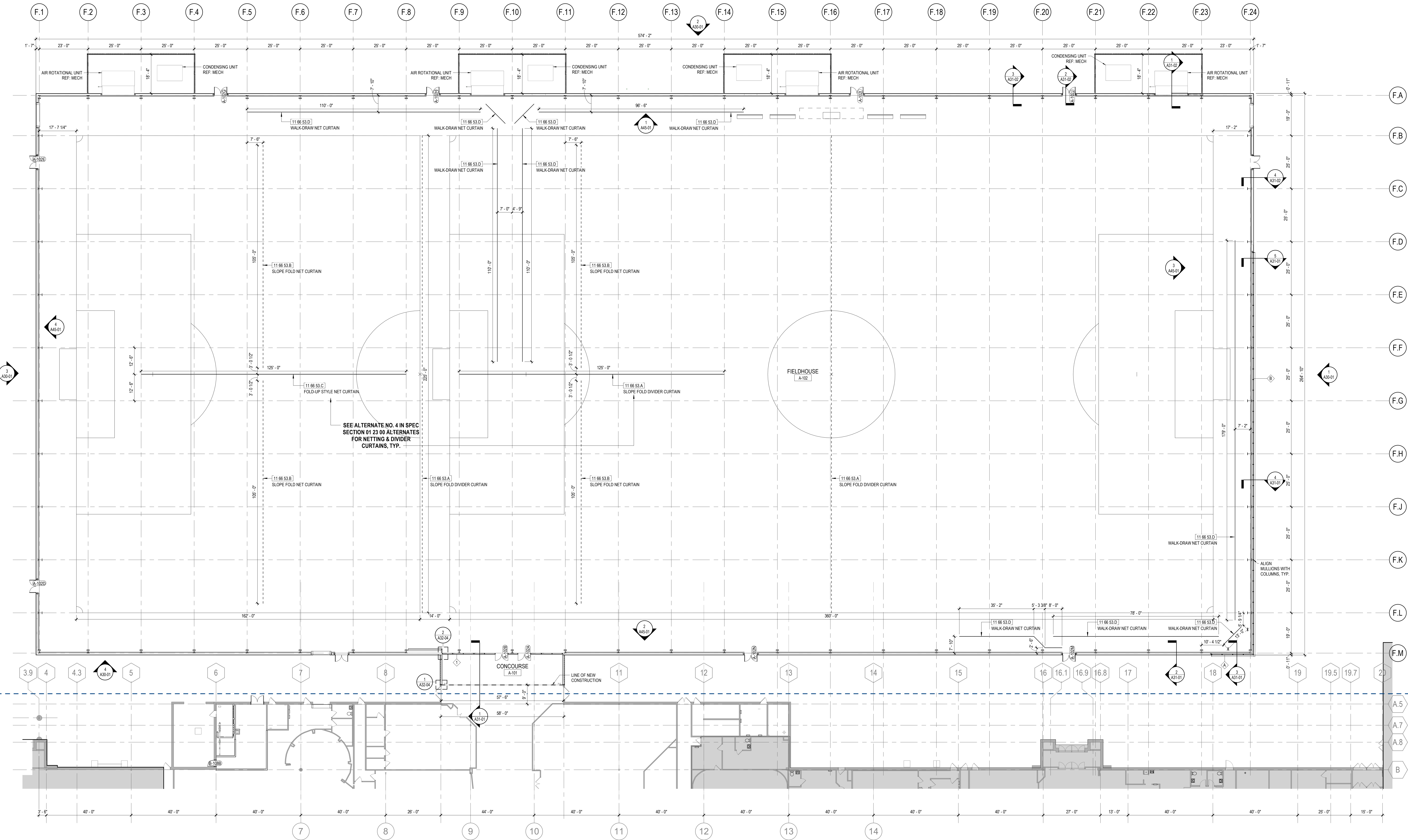
Job Number

TITLE

FLOOR PLAN - LEVEL  
01 - AREA A - PHASE  
1A

SHEET NUMBER

A11-11

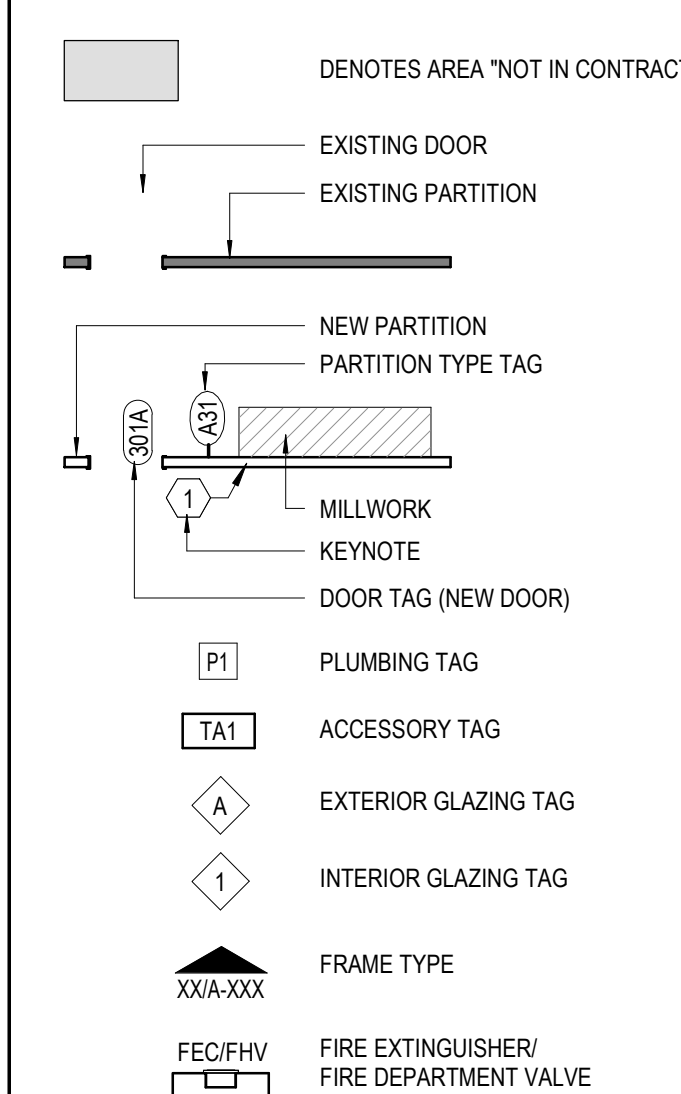


1 FLOOR PLAN - LEVEL 01 - AREA A - PHASE 1A  
1/16" = 1'-0"

FLOOR PLAN KEYNOTES

LEGEND

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15. UNLESS NOTED OTHERWISE, DIMENSIONS ARE TO THE FACE OF FINISHES (TILE, PAINT, WALLCOVERING). THIS EXCLUDES FABRIC-WRAPPED PANELS, WOODGLASS MILLWORK PANELS. THIS IS OF PARTICULAR IMPORTANCE WHERE DIMENSIONS ARE CRITICAL, SUCH AS RESTROOMS.
16. LAYOUT PARTITIONS FOR ARCHITECT TO REVIEW FOR DESIGN INTENT. DO NOT PROCEED WITH INSTALLATION OF RUNNERS OR STUDS WITHOUT THIS REVIEW.
17. LOCATE DOORS 4" FROM FACE OF INTERSECTING PARTITION TO INSIDE EDGE OF DOOR FRAME, UNLESS NOTED OTHERWISE.
18. WHERE NEW PARTITION IS A CONTINUATION OF AN EXISTING PARTITION, THE FACE OF THE NEW FINISHED PARTITION SHALL BE ALIGNED WITH THE FACE OF THE EXISTING FINISH.
19. REFER TO A33-00 SERIES FOR EXTERIOR GLAZING TYPES.
20. REFER TO A83-00 SERIES FOR INTERIOR GLAZING TYPES.
21. ALL FIELDHOUSE EQUIPMENT, CURTAINS AND NETTING TO BE COORDINATED WITH FINAL FIELD GATELINE CONFIGURATIONS.



CONSULTANTS

STRAND ASSOCIATES  
629 WASHINGTON ST.  
COLUMBUS, IN 47201  
STRUCTURAL  
SSR, INC.  
2995 SIDCO DR.  
NASHVILLE, TN 37204  
MEP  
SSR, INC.  
2995 SIDCO DR.  
NASHVILLE, TN 37204  
LANDSCAPING  
MKSK  
200 S MERIDIAN ST.  
INDIANAPOLIS, IN 46225

OWNER

CITY OF COLUMBUS  
123 WASHINGTON ST.  
COLUMBUS, IN 47201  
FACILITY  
FAIR OAKS MALL  
2880 25TH ST.  
COLUMBUS, IN 47201  
CONTRACTOR  
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4655 MIDDLE RD.  
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PROJECT

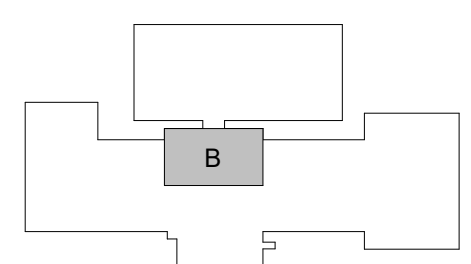
NEXUSPARK



City of Columbus

123 WASHINGTON ST.  
COLUMBUS, IN 47201

KEYPLAN

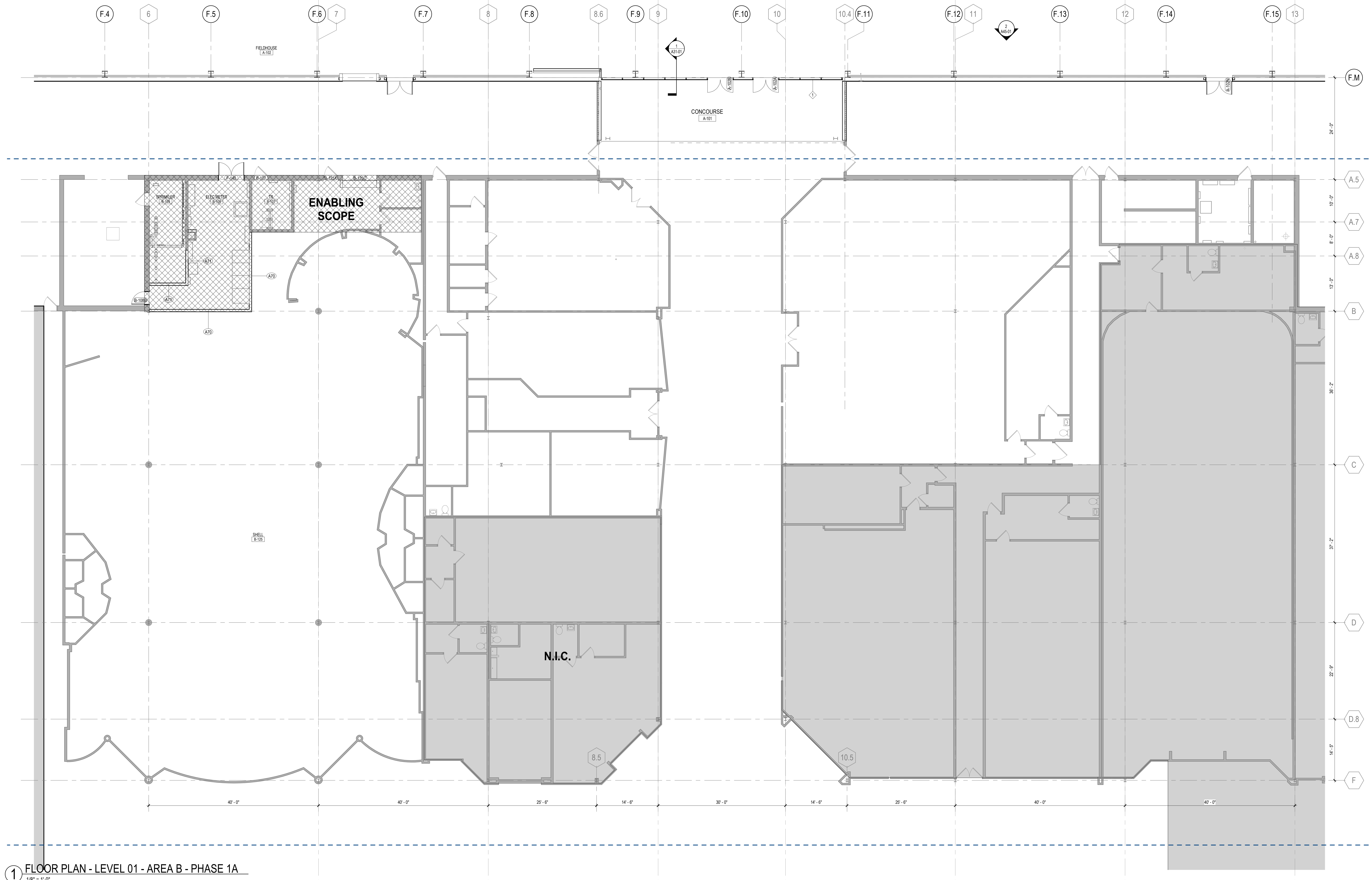


ISSUE CHART

ISSUED FOR PROPOSAL - ENABLING & PHASE 1A 03/18/2022

DATE  
Job Number  
TITLE  
FLOOR PLAN - LEVEL  
01 - AREA B - PHASE  
1A  
SHEET NUMBER  
A11-12

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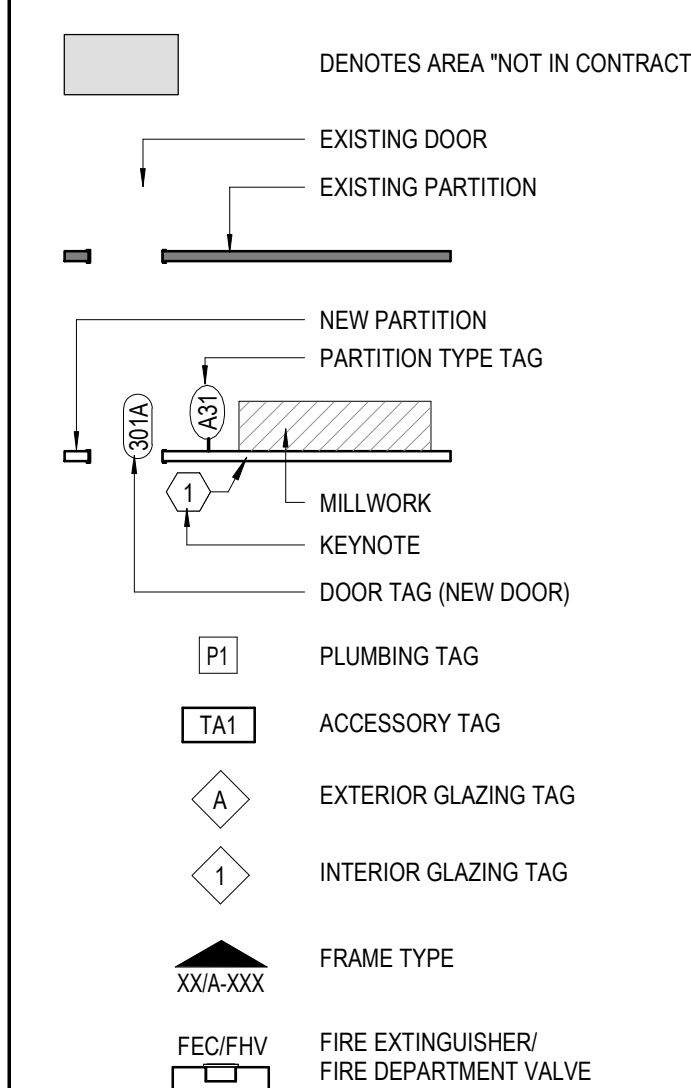


1 FLOOR PLAN - LEVEL 01 - AREA B - PHASE 1A  
1/8" = 1'-0"

FLOOR PLAN KEYNOTES

LEGEND

FLOOR PLAN GENERAL NOTES



1. ALL NEW PARTITIONS SHALL BE TYPE "\_\_\_" UNO. REFER TO SHEET A-\_\_\_ FOR MORE INFORMATION. PARTITION TYPES AND FIRE RESISTIVE RATINGS INDICATED ARE TO BE CONTINUOUS FOR THE LENGTH AND HEIGHT OF THE PARTITION, INCLUDING ABOVE DOORS AND GLAZING.
2. THE CONTRACTOR SHALL PATCH AND REPAIR ALL EXISTING & NEW WALL SURFACES PRIOR TO APPLYING FINISHES.
3. WHERE EXISTING WALL BASE OR WALLCOVERING HAS BEEN REMOVED, SKIM COAT WALL SURFACE TO MAKE SMOOTH TO MATCH ADJACENT CONSTRUCTION SO AS NOT TO TELEGRAPH THROUGH NEW FINISH.
4. WHERE PARTITION IS TO ALIGN WITH THE FACE OF AN EXISTING DRYWALL CORNER OR EDGE, REMOVE THE EXISTING CORNER BEAD, TAPE, APPLY JOINT COMPOUND, AND SAND SMOOTH. NEW AND EXISTING DRYWALL TO BE IN THE SAME PLANE WITH NO VISIBLE JOINTS.
5. OPENINGS IN GYPSUM BOARD FOR ELECTRICAL AND COMMUNICATION RECEPTACLE, PIPING, DUCTWORK AND OTHER PENETRATIONS SHALL MAINTAIN TIGHT TOLERANCES, WITHIN 1/2 INCH OF EDGE OF PENETRATING ELEMENT. EXPOSED EDGES SHALL BE COVERED BY TRIM PLATES OR ESCUTCHEONS.
6. SEAL PENETRATIONS IN GYPSUM BOARD CONSTRUCTION ABOVE FINISHED CEILING TO PREVENT SOUNDS LEAKAGE AT ACoustICAL PARTITIONS AND AT DEMISING PARTITIONS, UNLESS NOTED OTHERWISE. PENETRATIONS AND OPENINGS ABOVE CEILING IN EXISTING PARTITIONS SHALL BE FILLED OR SEALED TO MATCH EXISTING WALL CONSTRUCTION.
7. OPENINGS IN RATED WALLS, FLOORS, CEILINGS AND ROOF ASSEMBLIES SHALL BE SEALED WITH A FIRE RESISTIVE JOINT SYSTEM OR PROTECTED WITH A FIRE-RATED CHASE.
8. ALL GYPSUM BOARD WALLS TO RECEIVE TILE OR TRIP FINISHES SHALL HAVE TILE BACKER BOARD. GYPSUM BOARD AT OTHER WALLS IN TOILET ROOMS AND KITCHENS TO BE WATER-RESISTANT GYPSUM BOARD. ALL GYPSUM BOARD CEILINGS PROVIDED IN FOOD SERVICE AREAS AND TOILET ROOMS SHALL BE WATER-RESISTANT GYPSUM BOARD.
9. ALL EXISTING CONCRETE WALLS AND CONCRETE OR STEEL COLUMNS ARE TO BE FURRED-OUT WITH METAL STUDS OR HAT CHANNELS AS MINIMALLY AS REQUIRED FOR THE INSTALLATION OF CONDUIT, JUNCTION BOXES, ACCESSORIES, BLOCKING, ETC., EXCEPT WHERE THE WALLS AND COLUMN ENCLOSURES ARE REQUIRED TO ALIGN OR ARE DIMENSIONED TO THE CONTRARY.
10. PROVIDE METAL BACKING PLATES OR FIRE-TREATED WOOD BLOCKING IN PARTITIONS FOR ALL WALL-ANCHORED CASEWORK, MILLWORK, FURNITURE, TISSUE MONITORS, ARTWORK, GRAB BARS, RAILINGS, SHELVING, AND OTHER WALL-ATTACHED ITEMS. COORDINATE WITH FURNITURE PLANS AND SPECIFICATIONS FOR WALL-MOUNTED FURNITURE LOCATIONS. COORDINATE PLACEMENT AND INSTALL BLOCKING PRIOR TO CLOSING WALLS.
11. EXPOSED WOOD SHALL BE FINISH GRADE HARDWOOD - FILLED, SANDED, AND READY FOR SCHEDULED FINISH.
12. CONTRACTOR SHALL SURVEY FLOOR ELEVATIONS TO DETERMINE SCOPE OF FLOOR LEVELING AND REMEDIAL REPAIR WORK, AND INCLUDE WORK IN CONTRACTOR SCOPE TO MEET FLOOR LEVELING REQUIREMENTS OF SPECIFICATIONS.
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B. ALIGN: LOCATE PARTITION FLUSH WITH FACE OF GYPSUM BOARD, OR OTHER SURFACE INDICATED.  
C. MAINTAIN DIMENSIONS NOTED AS MINIMUM, CLEAR, OR TYPICAL.
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20. REFER TO A63-00 SERIES FOR INTERIOR GLAZING TYPES.
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2995 SIDCO DR.  
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LANDSCAPE

MKS

200 S MERIDIAN ST.  
INDIANAPOLIS, IN 46225

OWNER

CITY OF COLUMBUS

123 WASHINGTON ST.  
COLUMBUS, IN 47201

FACILITY

FAIR OAKS WALL

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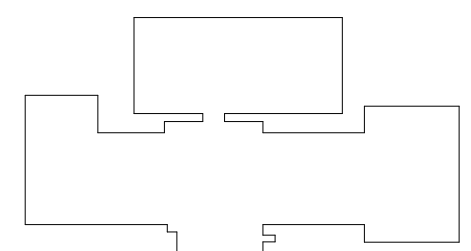
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City of Columbus

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KEYPLAN



ISSUE CHART

ISSUED FOR PROPOSAL - ENABLING & PHASE 1A 03/18/2022

FLOOR PLAN - LEVEL 01 - OVERALL -

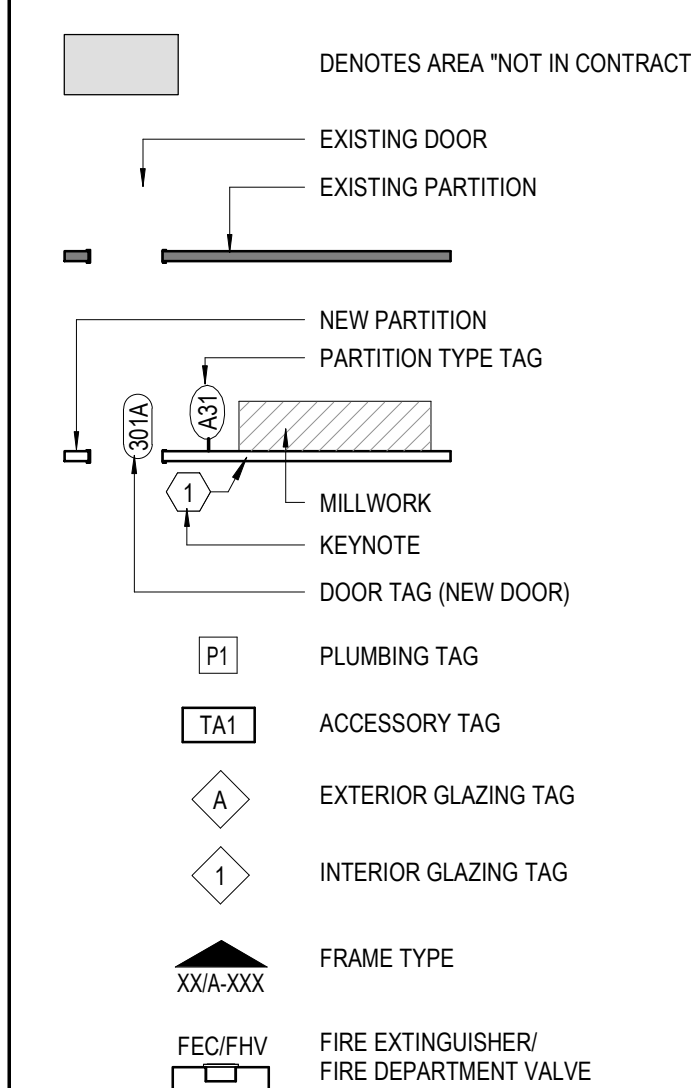
PHASE 1B

1/32" = 1'-0"

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20. REFER TO ADDITIONAL SHEETS FOR PARTITIONING GLAZING TYPES.
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1	100% SCHEMATIC DESIGN	09/24/2021
DATE	DATE	DATE

Job Number

TITLE

FLOOR PLAN - LEVEL  
01 - OVERALL - PHASE  
1B

SHEET NUMBER

A11-20



CONSULTANTS

STRAND ASSOCIATES

629 WASHINGTON ST.  
COLUMBUS, IN 47201

STRUCTURAL

SSR, INC.

2995 SIDCO DR.  
NASHVILLE, TN 37204

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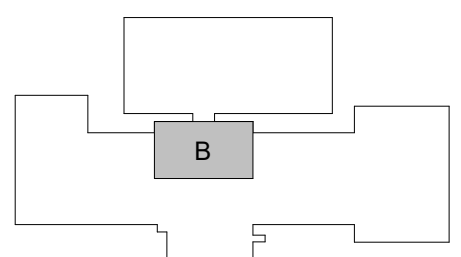
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KEY PLAN



ISSUE CHART

ISSUED FOR PROPOSAL - ENABLING & PHASE 1A 03/18/2022

1 100% SCHEMATIC DESIGN 09/24/2021  
ISSUED FOR PROPOSAL - ENABLING & PHASE 1A 03/18/2022

Job Number

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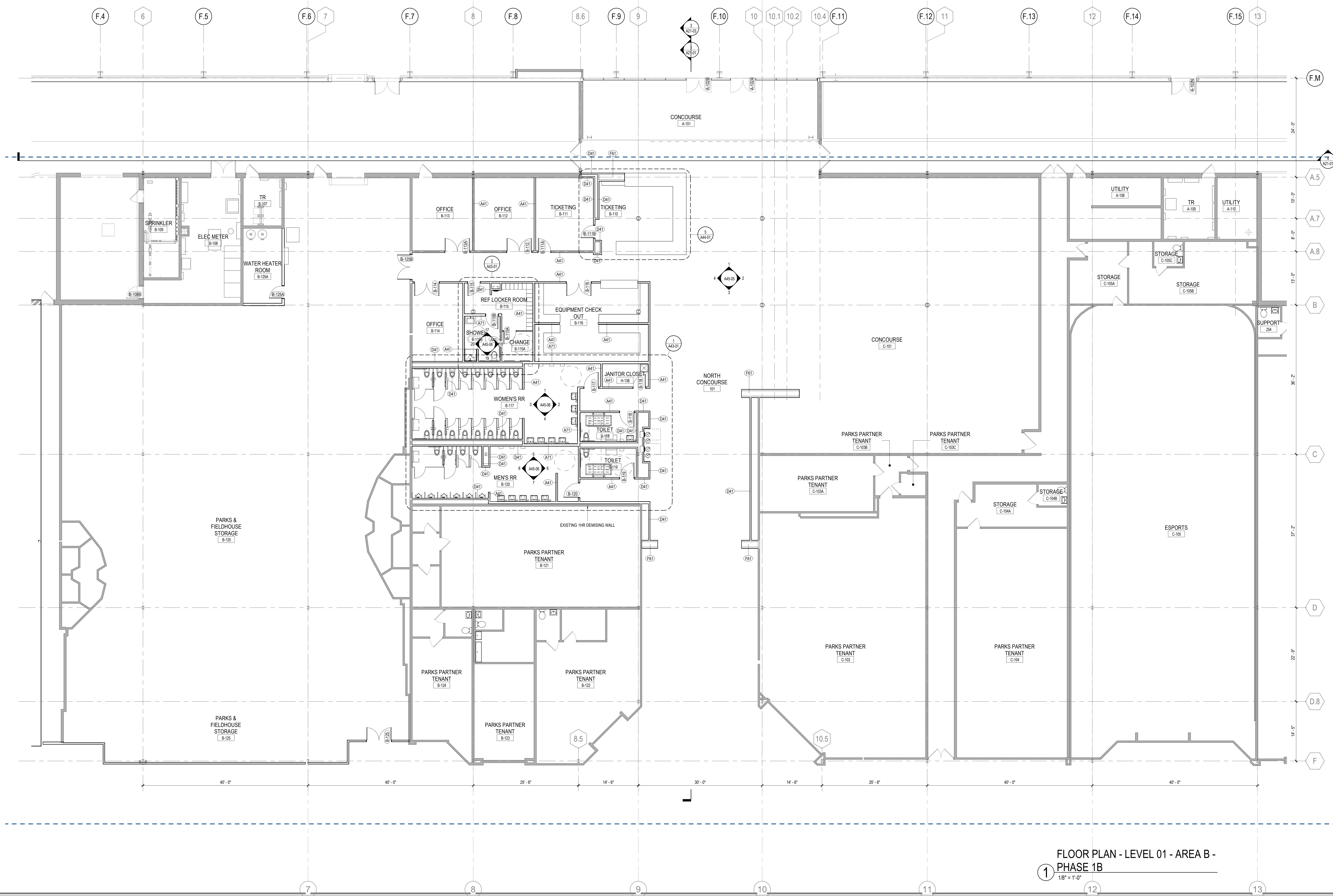
FLOOR PLAN - LEVEL  
01 - AREA B - PHASE

1B

SHEET NUMBER

A11-22

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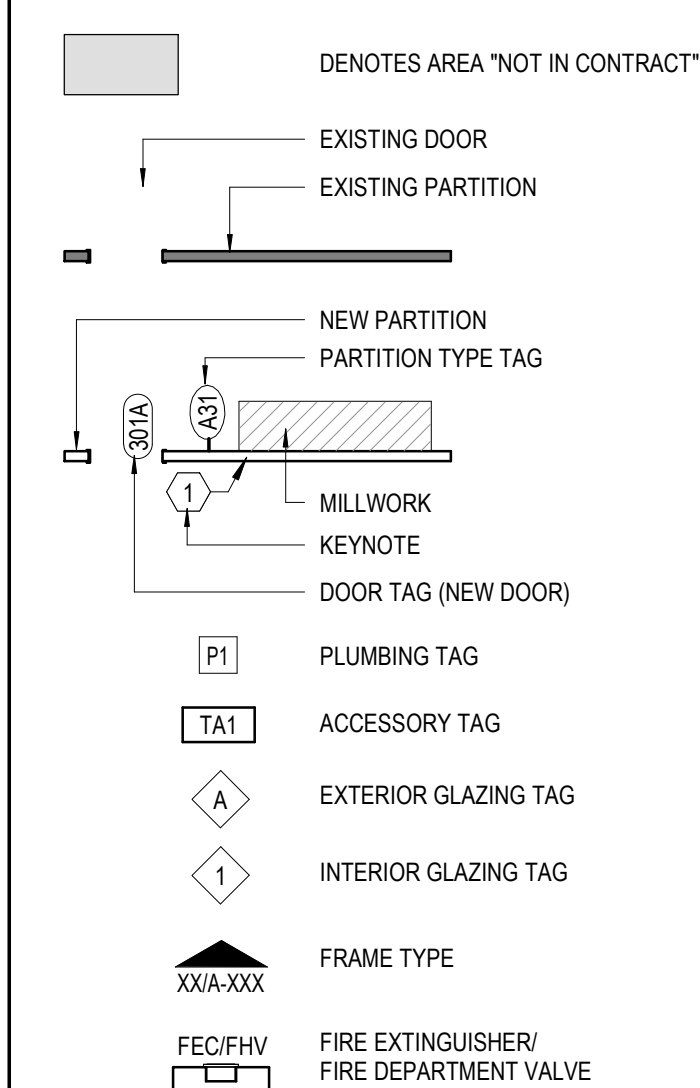


FLOOR PLAN - LEVEL 01 - AREA B -  
1 PHASE 1B  
1/8" = 1'-0"

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14. WHEN UNDIMENSIONED PARTITIONS APPEAR IN CONJUNCTION WITH DOOR OPENINGS, DOOR WIDTH AND DOOR FRAME DETAILS DETERMINE LOCATION OF ADJACENT WALLS AND FRAMES.
15. UNLESS NOTED OTHERWISE, DIMENSIONS ARE TO THE FACE OF FINISHES (TILE, PAINT, WALLCOVERING). THIS EXCLUDES FABRIC-WRAPPED PANELS, WOOD/GLASS MILLWORK PANELS. THIS IS OF PARTICULAR IMPORTANCE WHERE DIMENSIONS ARE CRITICAL, SUCH AS RESTROOMS.
16. LAYOUT PARTITIONS FOR ARCHITECT TO REVIEW FOR DESIGN INTENT. DO NOT PROCEED WITH INSTALLATION OF RUNNERS OR STUDS WITHOUT THIS REVIEW.
17. LOCATE DOORS 4" FROM FACE OF INTERSECTING PARTITION TO INSIDE EDGE OF DOOR FRAME, UNLESS NOTED OTHERWISE.
18. WHERE NEW PARTITION IS A CONTINUATION OF AN EXISTING PARTITION, THE FACE OF THE NEW FINISHED PARTITION SHALL BE ALIGNED WITH THE FACE OF THE EXISTING FINISH.
19. REFER TO A11-01 FOR SPECIFICATIONS FOR GLAZING TYPES.
20. REFER TO A11-02 FOR PARTITION PANEL TYPES.
21. ALL FIRE EXTINGUISHERS, EQUIPMENT, AND ACCESSORIES SHALL BE COORDINATED WITH THE BUILDING CODES AND CONFIGURATIONS.

FOR REVIEW ONLY



CONSULTANTS

STRAND ASSOCIATES  
629 WASHINGTON ST.  
COLUMBUS, IN 47201  
STRUCTURAL  
SSR, INC.  
2995 SIDCO DR.  
NASHVILLE, TN 37204  
MEP  
SSR, INC.  
2995 SIDCO DR.  
NASHVILLE, TN 37204  
LANDSCAPE  
MKS  
200 S MERIDIAN ST.  
INDIANAPOLIS, IN 46225

OWNER

CITY OF COLUMBUS  
123 WASHINGTON ST.  
COLUMBUS, IN 47201  
FACILITY  
FAIR OAKS WALL  
2880 20TH ST.  
COLUMBUS, IN 47201  
CONTRACTOR  
TAYLOR BROS. CONSTRUCTION CO., INC.  
4855 MIDDLE RD.  
COLUMBUS, IN 47203

PROJECT

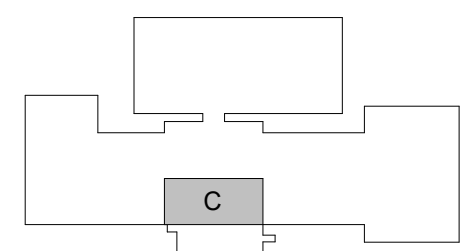
NEXUSPARK



City of Columbus

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KEY PLAN



ISSUE CHART

ISSUED FOR PROPOSAL - ENABLING & PHASE 1A 03/18/2022

100% SCHEMATIC DESIGN 09/24/2021  
DATE

Job Number

TITLE

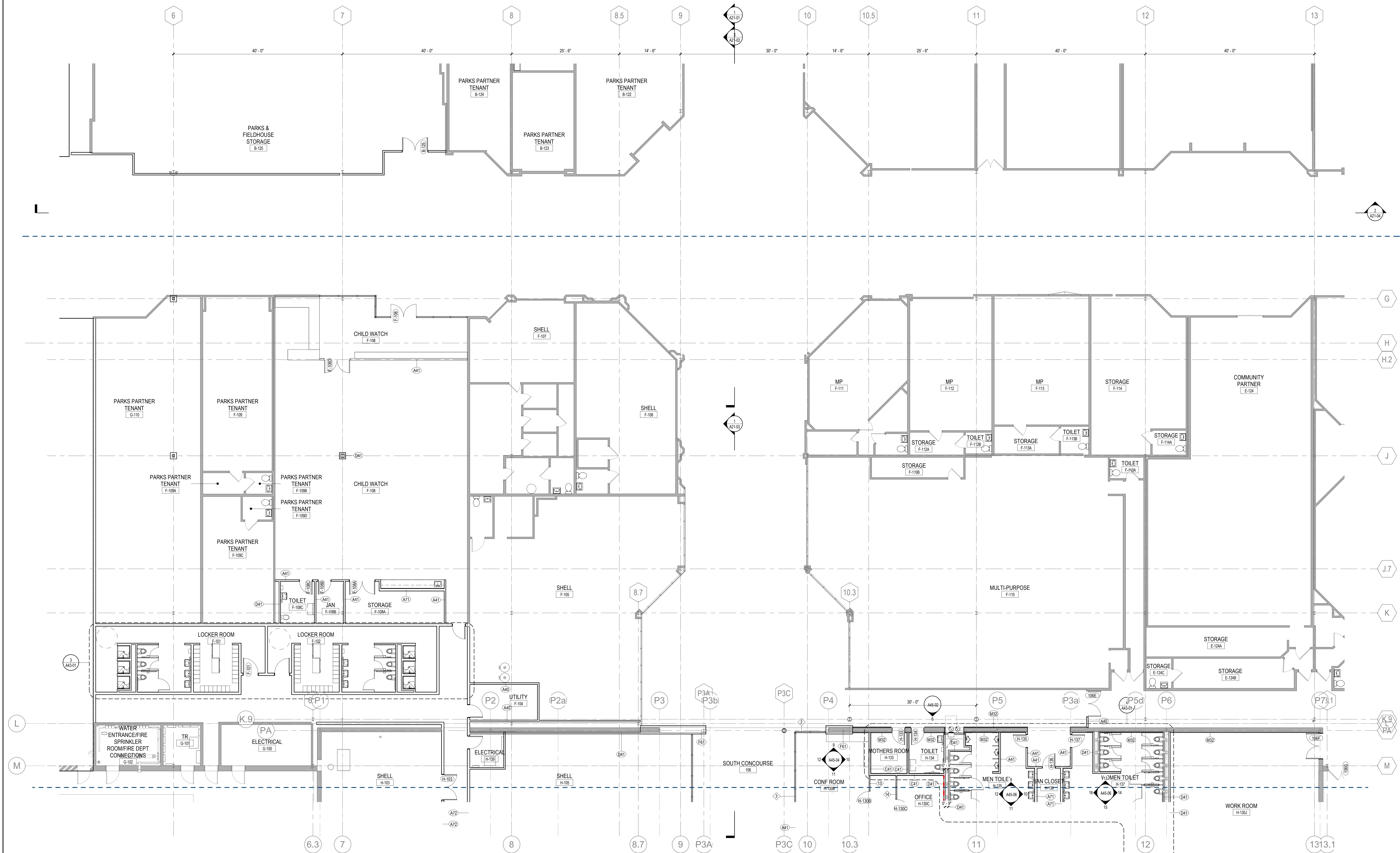
FLOOR PLAN - LEVEL  
01 - AREA C - PHASE

1B

SHEET NUMBER

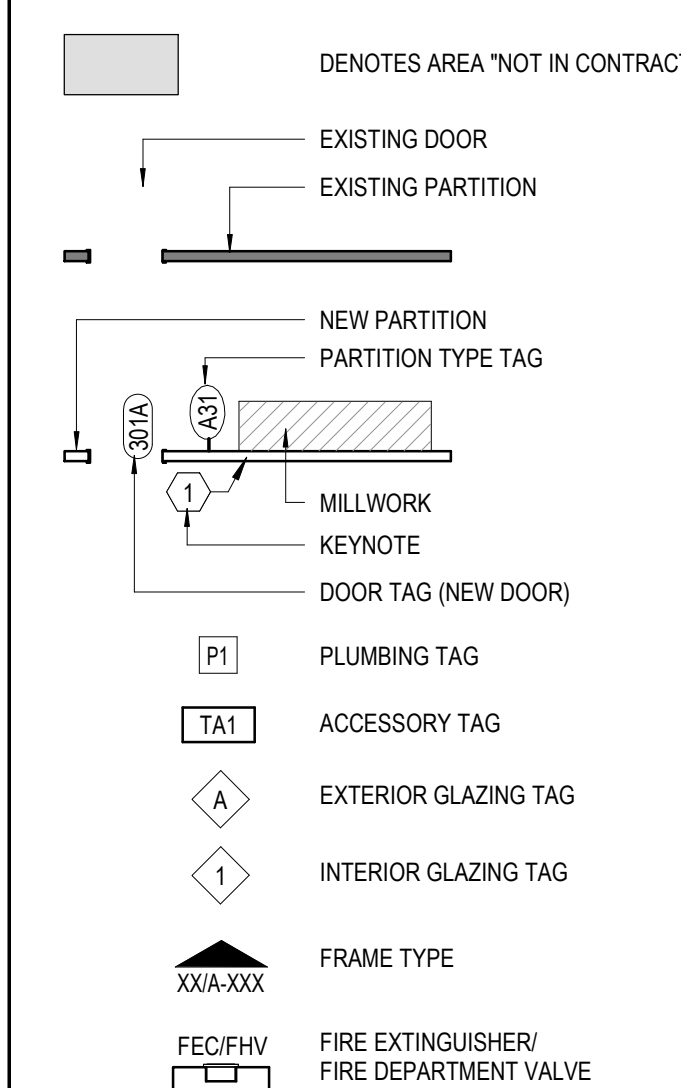
A11-23

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FLOOR PLAN KEYNOTES

LEGEND



FLOOR PLAN GENERAL NOTES

1. ALL NEW PARTITIONS SHALL BE TYPE \_\_\_\_ UNO. REFER TO SHEET A \_\_\_\_ FOR MORE INFORMATION. PARTITION TYPES AND FIRE RESISTIVE RATINGS INDICATED ARE TO BE CONTINUOUS FOR THE LENGTH AND HEIGHT OF THE PARTITION, INCLUDING ABOVE DOORS AND GLAZING.
2. THE CONTRACTOR SHALL PATCH AND REPAIR ALL EXISTING & NEW WALL SURFACES PRIOR TO APPLYING FINISHES.
3. WHERE EXISTING WALL BASE OR WALLCOVERING HAS BEEN REMOVED, SKIM COAT WALL SURFACE TO MAKE SMOOTH TO MATCH ADJACENT CONSTRUCTION SO AS NOT TO TELEGRAPH THROUGH NEW FINISH.
4. WHERE PARTITION IS TO ALIGN WITH THE FACE OF AN EXISTING DRYWALL CORNER OR EDGE, REMOVE THE EXISTING CORNER BEAD, TAPE, APPLY JOINT COMPOUND, AND SAND SMOOTH. NEW AND EXISTING DRYWALL TO BE IN THE SAME PLANE WITH NO VISIBLE JOINTS.
5. OPENINGS IN GYPSUM BOARD FOR ELECTRICAL AND COMMUNICATION RECEPTACLE, PIPING, DUCTWORK AND OTHER PENETRATIONS SHALL MAINTAIN TIGHT TOLERANCES, WITHIN 1/2 INCH OF EDGE OF PENETRATING ELEMENT. EXPOSED EDGES SHALL BE COVERED BY TRIM PLATES OR ESCUTCHEONS.
6. SEAL PENETRATIONS IN GYPSUM BOARD CONSTRUCTION ABOVE FINISHED CEILING TO PREVENT SOUNDS LEAKAGE AT ACoustICAL PARTITIONS AND AT DIVIDING PARTITIONS, UNLESS NOTED OTHERWISE. PENETRATIONS AND OPENINGS ABOVE CEILING IN EXISTING PARTITIONS SHALL BE FILLED OR SEALED TO MATCH EXISTING WALL CONSTRUCTION.
7. OPENINGS IN RATED WALLS, FLOORS, CEILINGS AND ROOF ASSEMBLIES SHALL BE SEALED WITH A FIRE RESISTIVE JOINT SYSTEM OR PROTECTED WITH A FIRE-RATED CHASE.
8. ALL GYPSUM BOARD WALLS TO RECEIVE TILE OR TRIP FINISHES SHALL HAVE TILE BACKER BOARD. GYPSUM BOARD AT OTHER WALLS IN TOILET ROOMS AND KITCHENS TO BE WATER-RESISTANT GYPSUM BOARD. ALL GYPSUM BOARD CEILINGS PROVIDED IN FOOD SERVICE AREAS AND TOILET ROOMS SHALL BE WATER-RESISTANT GYPSUM BOARD.
9. ALL EXISTING CONCRETE WALLS AND CONCRETE OR STEEL COLUMNS ARE TO BE FURRED-OUT WITH METAL STUDS OR HAT CHANNELS AS MINIMALLY AS REQUIRED FOR THE INSTALLATION OF CONDUIT, JUNCTION BOXES, ACCESSORIES, BLOCKING, ETC., EXCEPT WHERE THE WALLS AND COLUMNS ARE OTHERWISE REQUIRED TO ALIGN OR ARE DIMENSIONED TO THE CONTRARY.
10. PROVIDE METAL BACKING PLATES OR FIRE-TREATED WOOD BLOCKING IN PARTITIONS FOR ALL WALL-ANCHORED CASEWORK, MILLWORK, FURNITURE, TVS/MONITORS, ARTWORK, GRAB BARS, RAILINGS, SHELVEING, AND OTHER WALL-ATTACHED ITEMS. COORDINATE WITH FURNITURE PLANS AND SPECIFICATIONS FOR WALL-MOUNTED FURNITURE LOCATIONS. COORDINATE PLACEMENT AND INSTALL BLOCKING PRIOR TO CLOSING WALLS.
11. EXPOSED WOOD SHALL BE FINISH GRADE HARDWOOD - FILLED, SANDED, AND READY FOR SCHEDULED FINISH.
12. CONTRACTOR SHALL SURVEY FLOOR ELEVATIONS TO DETERMINE SCOPE OF FLOOR LEVELING AND REMEDIAL REPAIR WORK, AND INCLUDE WORK IN CONTRACTOR SCOPE TO MEET FLOOR LEVELING REQUIREMENTS OF SPECIFICATIONS.
13. PARTITIONS NOT DIMENSIONED ARE GENERALLY LOCATED BY ONE OF THE FOLLOWING CRITERIA:  
A. CENTERLINE: CENTER OF PARTITION ALIGNS WITH THE CENTER OF GRIDLINE OR OBJECT CENTERLINE (SUCH AS A COLUMN OR MULLION); CENTER THE OVERALL PARTITION WIDTH RATHER THAN STUD WIDTH ON THE LINE.  
B. ALIGN LOCATE PARTITION FLUSH WITH FACE OF GYPSUM BOARD, OR OTHER SURFACE INDICATED.  
C. MAINTAIN DIMENSIONS NOTED AS MINIMUM, CLEAR, OR VOLT.
14. WHEN UNDIMENSIONED PARTITIONS APPEAR IN CONJUNCTION WITH DOOR OPENINGS, DOOR WIDTH AND DOOR FRAME DETAILS DETERMINE LOCATION OF ADJACENT WALLS AND FRAMES.
15. UNLESS NOTED OTHERWISE, DIMENSIONS ARE TO THE FACE OF FINISHES (TILE, PAINT, WALLCOVERING). THIS EXCLUDES FABRIC-WRAPPED PANELS, WOOD/GLASS MILLWORK PANELS. THIS IS OF PARTICULAR IMPORTANCE WHERE DIMENSIONS ARE CRITICAL, SUCH AS RESTROOMS.
16. LAYOUT PARTITIONS FOR ARCHITECT TO REVIEW FOR DESIGN INTENT. DO NOT PROCEED WITH INSTALLATION OF RUNNERS OR STUDS WITHOUT THIS REVIEW.
17. LOCATE DOORS 4" FROM FACE OF INTERSECTING PARTITION TO INSIDE EDGE OF DOOR FRAME, UNLESS NOTED OTHERWISE.
18. WHERE NEW PARTITION IS A CONTINUATION OF AN EXISTING PARTITION, THE FACE OF THE NEW FINISHED PARTITION SHALL BE ALIGNED WITH THE FACE OF THE EXISTING FINISH.
19. REFER TO A11-02-01 FOR ACCESSORIES FOR INTERIOR GLAZING TYPES.
20. REFER TO A11-02-01 FOR PARTITION PANEL TYPES.
21. ALL FLOOR FINISHES, INCLUDING TOILET, SHALL BE COORDINATED WITH FINISH SCHEDULE.
22. ALL FLOOR FINISHES, INCLUDING TOILET, SHALL BE COORDINATED WITH FINISH SCHEDULE.

FOR REVIEW ONLY





### FLOOR PLAN GENERAL NOTES

FOR REFERENCE ONLY



CONSULTANTS

STRAND ASSOCIATES  
629 WASHINGTON ST.  
COLUMBUS, IN 47201  
STRUCTURAL  
SSR, INC.  
2995 SIDCO DR.  
NASHVILLE, TN 37204  
MEP  
SSR, INC.  
2995 SIDCO DR.  
NASHVILLE, TN 37204  
LANDSCAPING  
MKSK  
200 S MERIDIAN ST.  
INDIANAPOLIS, IN 46225

OWNER

CITY OF COLUMBUS  
123 WASHINGTON ST.  
COLUMBUS, IN 47201  
FACILITY  
FAIR OAKS MALL  
2880 20TH ST.  
COLUMBUS, IN 47201  
CONTRACTOR  
TAYLOR BROS. CONSTRUCTION CO., INC.  
4555 MIDDLE RD.  
COLUMBUS, IN 47203

PROJECT

NEXUSPARK

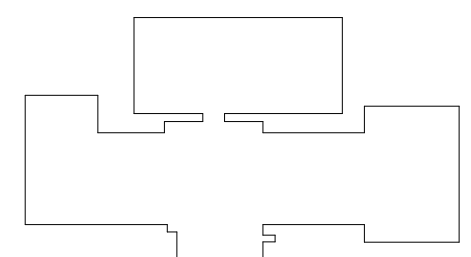
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KEYPLAN



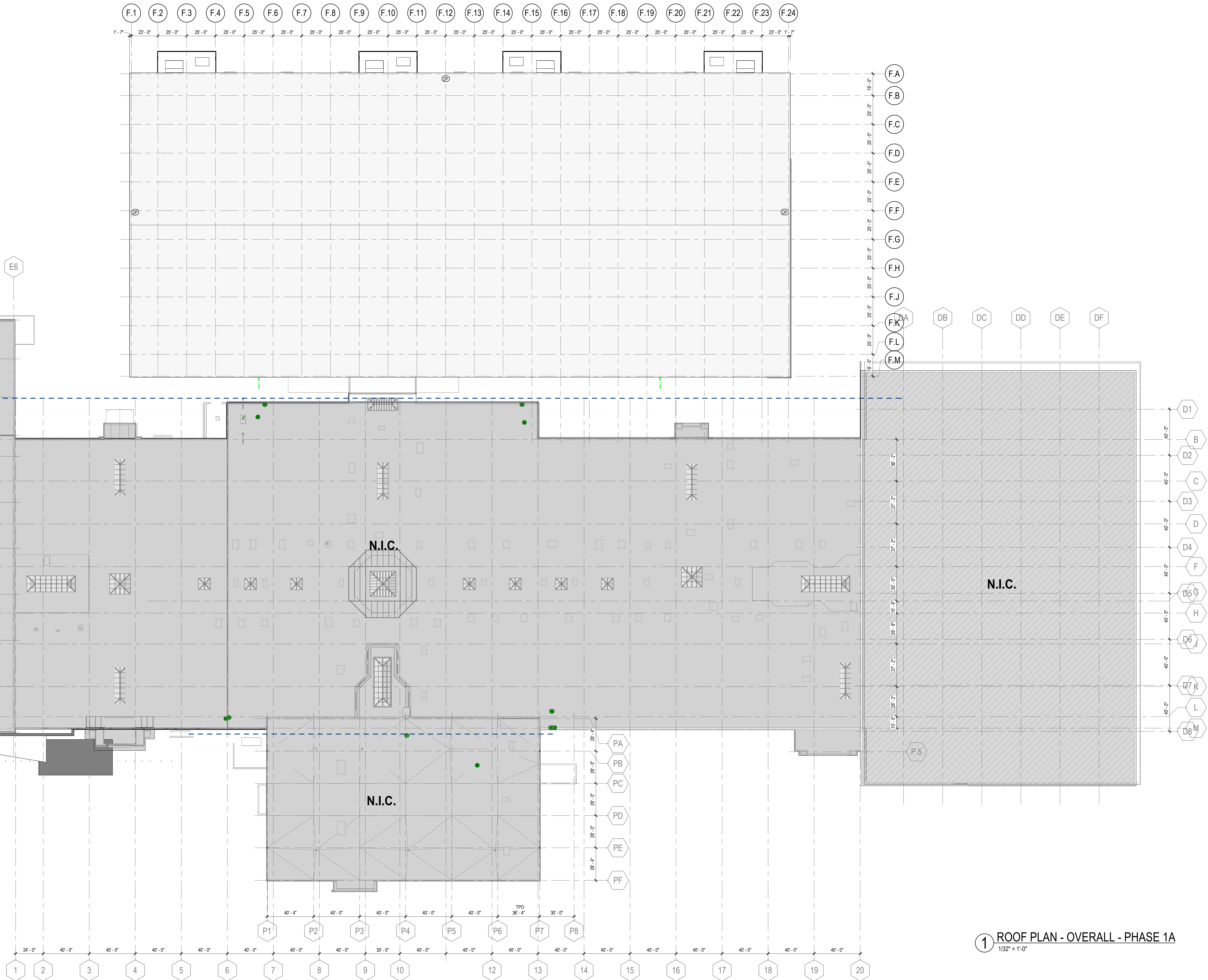
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DATE	ISSUE	DATE
Job Number	TITLE	

ROOF PLAN -  
OVERALL - PHASE 1A

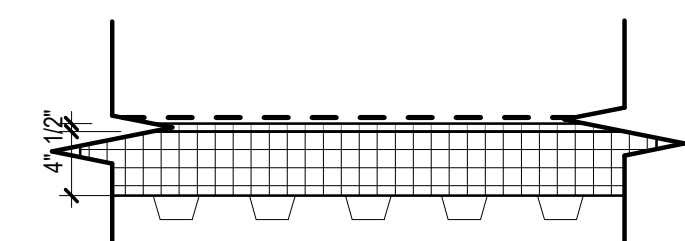
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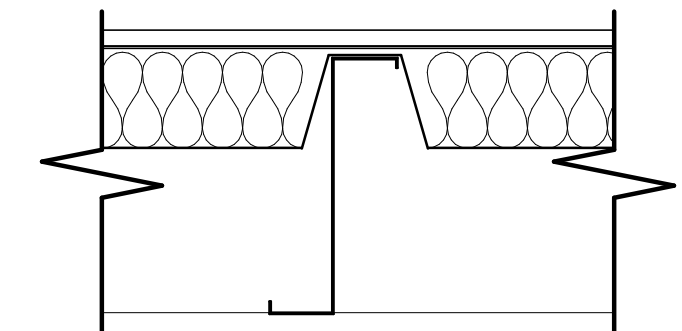


1 ROOF PLAN - OVERALL - PHASE 1A  
1/32" = 1'-0"

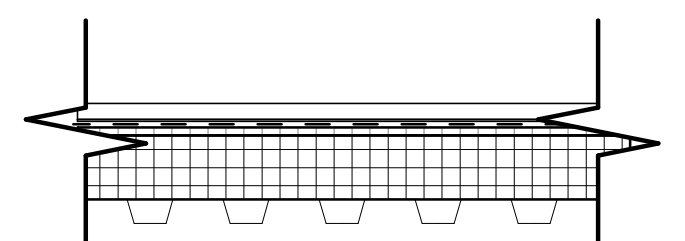
ROOF



- XRA-1
- TPO ROOFING MEMBRANE, 60 MIL
  - 1/2" COVERBOARD
  - POLYISOCYANURATE ROOFING INSULATION
  - METAL ROOF DECK
- MIN. R-30



- XRA-2
- PRE-ENGINEERED METAL BUILDING
  - MANUFACTURER'S METAL PANEL ROOFING SYSTEM
  - WEATHER RESISTANT BARRIER
  - ROOF COVERBOARD
  - POLYISOCYANURATE ROOFING INSULATION
  - METAL ROOF DECK
- MAX. ASSEMBLY U-VALUE 0.083



- XRA-3
- SINGLE LOCK STANDING SEAM METAL PANEL ROOFING SYSTEM
  - WEATHER RESISTANT BARRIER
  - ROOF COVERBOARD
  - POLYISOCYANURATE ROOFING INSULATION
  - METAL ROOF DECK
- MIN. R-30



CONSULTANTS

STRAND ASSOCIATES  
629 WASHINGTON ST.  
COLUMBUS, IN 47201  
STRUCTURAL  
SSR, INC.  
2995 SIDCO DR.  
NASHVILLE, TN 37204  
MEP  
SSR, INC.  
2995 SIDCO DR.  
NASHVILLE, TN 37204  
LANDSCAPING  
MKSK  
200 S MERIDIAN ST.  
INDIANAPOLIS, IN 46225

OWNER

CITY OF COLUMBUS  
123 WASHINGTON ST.  
COLUMBUS, IN 47201

FACILITY

FAIR OAKS MALL  
2880 20TH ST.  
COLUMBUS, IN 47201

CONTRACTOR

TAYLOR BROS. CONSTRUCTION CO., INC.  
4655 MIDDLE RD.  
COLUMBUS, IN 47203

PROJECT

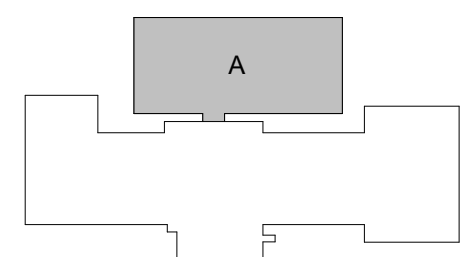
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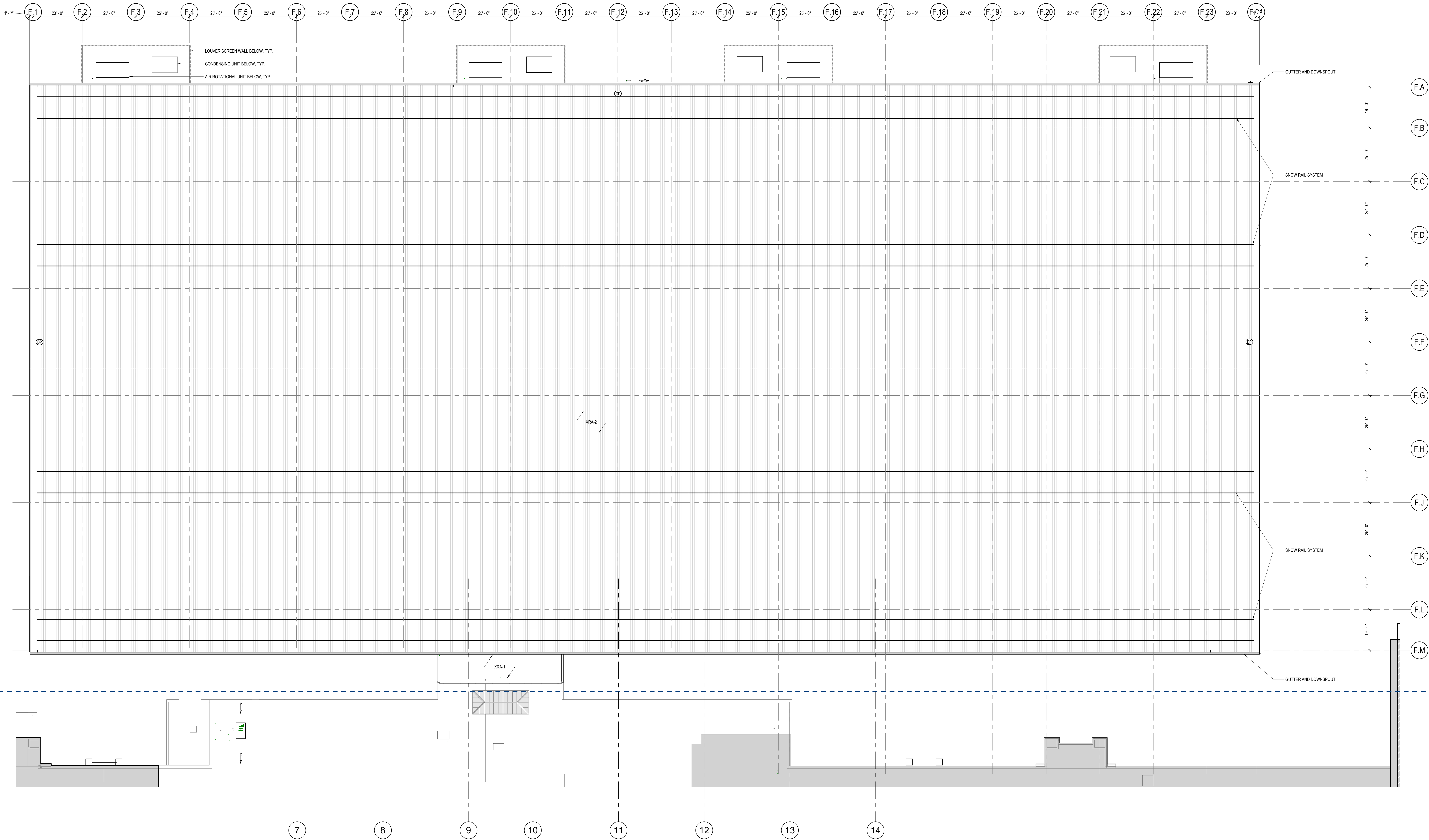
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Job Number		

TITLE

ROOF PLAN - AREA A -  
PHASE 1A

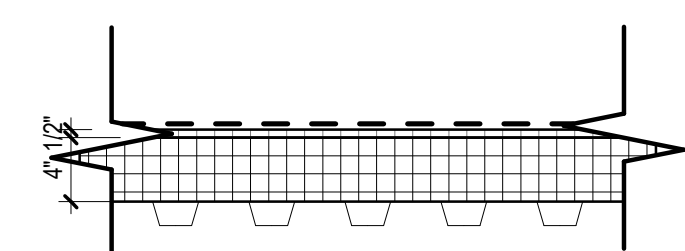
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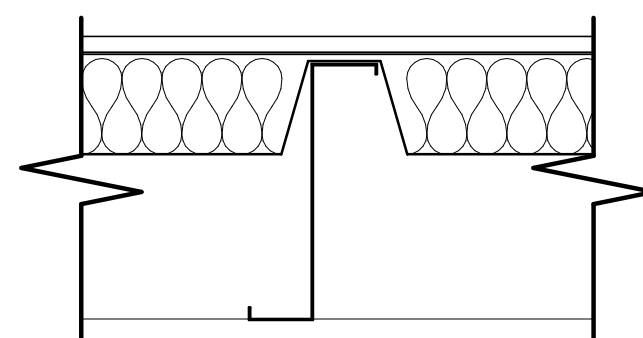


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1/16" = 1'-0"

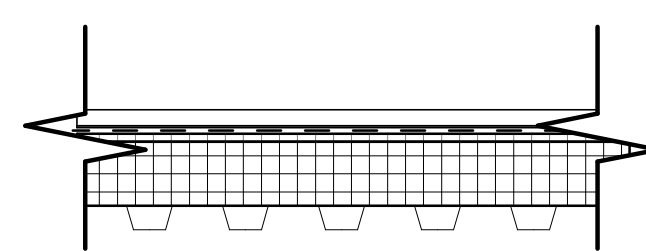
ROOF



- XRA-1
- TPO ROOFING MEMBRANE, 60 MIL
- 1/2" COVERBOARD
- POLYISOCYANURATE ROOFING INSULATION
- METAL ROOF DECK
- MIN. R-30



- XRA-2
- PRE-ENGINEERED METAL BUILDING MANUFACTURER'S METAL PANEL ROOFING SYSTEM
- BATT INSULATION
- WEATHER RESISTANT BARRIER
- Z-PURLIN SUPPORT STRUCTURE
- MAX. ASSEMBLY U-VALUE 0.063



- XRA-3
- SINGLE LOCK STANDING SEAM METAL PANEL ROOFING SYSTEM
- WEATHER RESISTANT BARRIER
- ROOF COVERBOARD
- POLYISOCYANURATE ROOFING INSULATION
- METAL ROOF DECK
- MIN. R-30



CONSULTANTS

STRAND ASSOCIATES  
629 WASHINGTON ST.  
COLUMBUS, IN 47201  
STRUCTURAL  
SSR, INC.  
2995 SIDCO DR.  
NASHVILLE, TN 37204  
MEP  
SSR, INC.  
2995 SIDCO DR.  
NASHVILLE, TN 37204  
LANDSCAPING  
MKSK  
200 S MERIDIAN ST.  
INDIANAPOLIS, IN 46225

OWNER

CITY OF COLUMBUS  
123 WASHINGTON ST.  
COLUMBUS, IN 47201  
FACILITY  
FAIR OAKS MALL  
2080 20TH ST.  
COLUMBUS, IN 47201  
CONTRACTOR  
TAYLOR BROS. CONSTRUCTION CO., INC.  
4655 MIDDLE RD.  
COLUMBUS, IN 47203

PROJECT

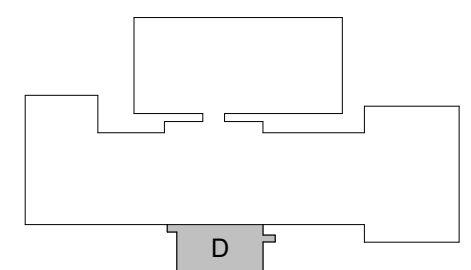
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KEYPLAN



ISSUE CHART

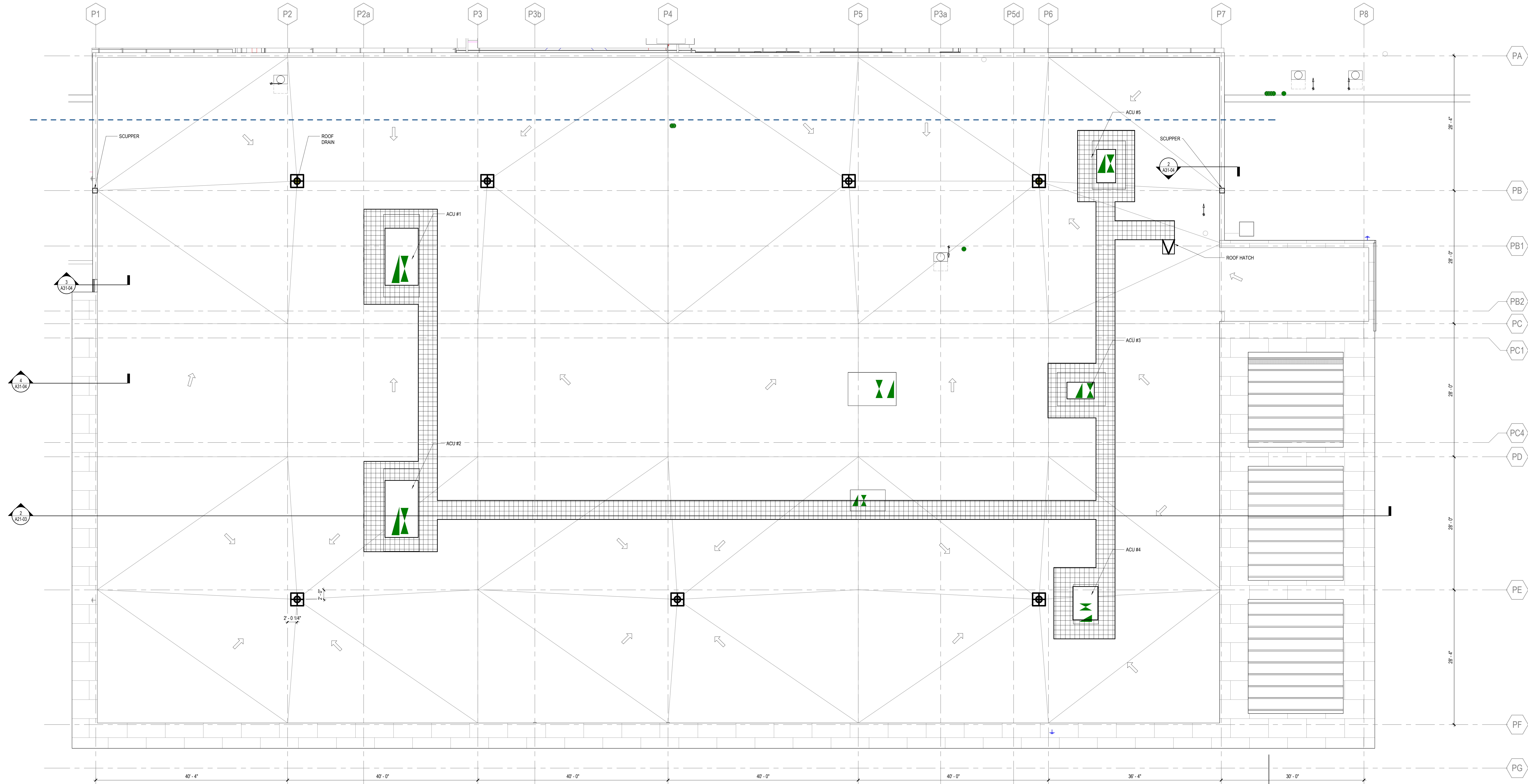
ISSUE	DATE
Job Number	TITLE

ROOF PLAN - AREA D -  
PHASE 1B

SHEET NUMBER

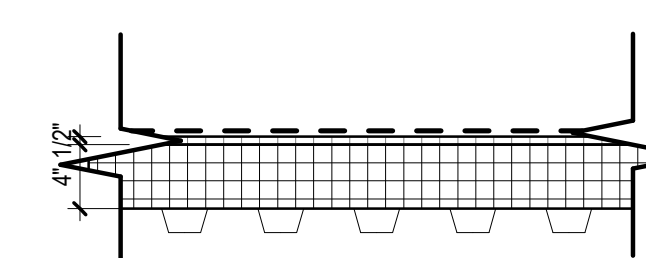
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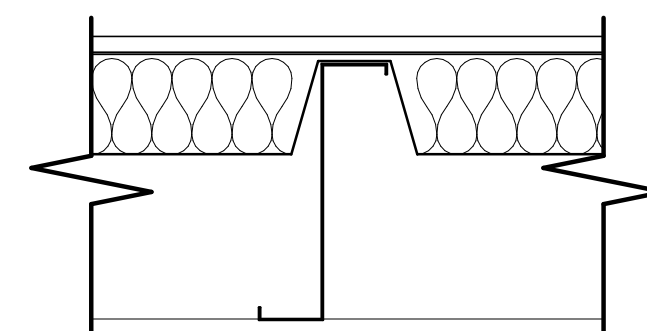


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1/8" = 1'-0"

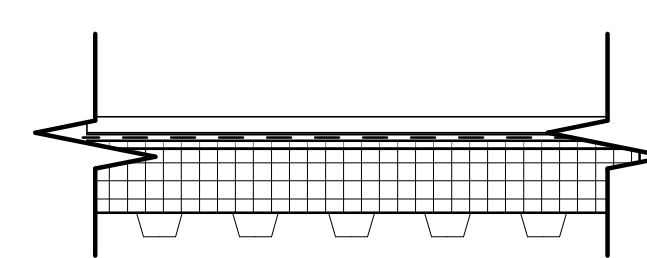
ROOF



- XRA-1
- TPO ROOFING MEMBRANE, 60 MIL
  - 1/2" COVERBOARD
  - POLYSTYRENE ROOFING INSULATION
  - METAL ROOF DECK
- MIN. R-30



- XRA-2
- PRE-ENGINEERED METAL BUILDING MANUFACTURER'S METAL PANEL ROOFING SYSTEM
  - BATT INSULATION
  - 2-PHASE CURABLE POLYURETHANE
  - METAL ROOF DECK
- MIN. R-30



- XRA-3
- SINGLE LOCK STANDING SEAM METAL PANEL ROOFING SYSTEM
  - WEATHER RESISTANT BARRIER
  - ROOF COVERBOARD
  - POLYSTYRENE ROOFING INSULATION
  - METAL ROOF DECK
- MIN. R-30

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CONSULTANTS

STRAND ASSOCIATES  
629 WASHINGTON ST.  
COLUMBUS, IN 47201  
STRUCTURAL

SSR, INC.  
2995 SIDCO DR.  
NASHVILLE, TN 37204  
MEP

SSR, INC.  
2995 SIDCO DR.  
NASHVILLE, TN 37204  
LANDSCAPE

MKS  
200 S MERIDIAN ST.  
INDIANAPOLIS, IN 46225

OWNER

CITY OF COLUMBUS  
123 WASHINGTON ST.  
COLUMBUS, IN 47201

FAIR OAKS MALL  
2880 20TH ST.  
COLUMBUS, IN 47201

CONTRACTOR  
TAYLOR BROS. CONSTRUCTION CO., INC.  
4655 MIDDLE RD.  
COLUMBUS, IN 47203

PROJECT

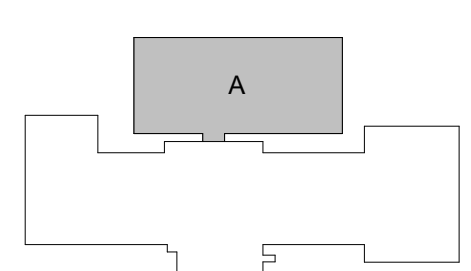
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KEYPLAN



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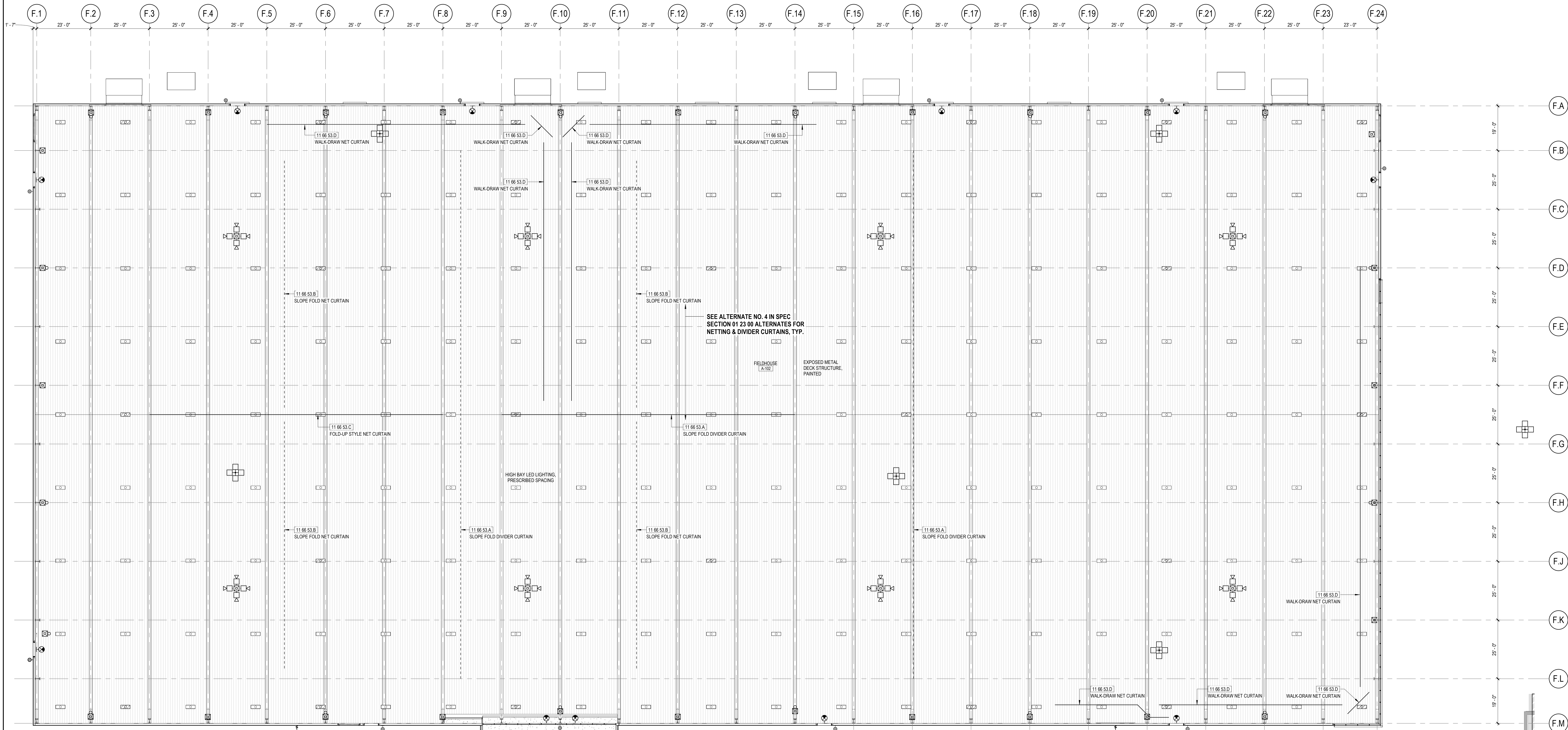
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Job Number

TITLE

REFLECTED CEILING  
PLAN - LEVEL 01 -  
AREA A - PHASE 1A

SHEET NUMBER

A12-01



1 LEVEL 01 - REFLECTED CEILING PLAN - AREA A - PHASE 1A  
1/16" = 1'-0"

REFLECTED CEILING PLAN KEYNOTES

LEGEND

- DENOTES AREA "NOT IN CONTRACT"
- GYPSUM BOARD CEILING / SOFFIT
- ACOUSTICAL PANEL CEILING
- PROJECTOR

- FIXTURE TYPE - SEE LIGHT FIXTURE SCHEDULE
- LIGHT FIXTURE SYMBOLS
  - 2' x 4' FIXTURE
  - 2' x 2' FIXTURE
  - 1' x 4' FIXTURE
  - ROUND RECESSED DOWNLIGHT
  - SQUARE RECESSED DOWNLIGHT
  - ⊕ PENDANT DOWNLIGHT
  - ⊕ ROUND RECESSED WALLWASH
  - ⊕ RECTANGULAR RECESSED WALLWASH
  - ⊕ WALL SCONCE
  - LINEAR RECESSED
  - LINEAR PENDANT
  - LINEAR WALL MOUNTED
  - ⊕ EXIT SIGN
    - SHADED SIDE(S) INDICATE(S) LIT SIGN FACE
    - SYMBOL ARROWS INDICATE CHEVRON DIRECTIONAL ARROWS ON SIGN FACE(S)

- CEILING MATERIAL CODE (REFER TO FINISH SCHEDULES)
- EX EXISTING FIXTURE TO REMAIN
- ER EXISTING FIXTURE TO BE RELOCATED
- WTH# WINDOW TREATMENT - REFER TO FINISH SCHEDULE SHEET
- ① KEYNOTE
- GYPSUM BOARD CONTROL JOINT
  - TRIANGLE INDICATES WALL LOCATION - ALIGN WITH EDGE OF FRAME
  - LINE INDICATES CEILING LOCATION - ALIGN WITH EDGE AS INDICATED
- CEILING MOUNTED POWER/COMMUNICATION SYMBOLS
  - ⊕ VOICE/DATA OUTLET
  - ⊕ DUPLEX POWER RECEPTACLE
  - ⊕ JUNCTION BOX
  - ⊕ AUDIO/VISUAL RECEPTACLE

REFLECTED CEILING PLAN GENERAL NOTES

1. ALL CEILING HEIGHTS TO BE \_\_\_\_ UNO.
2. ALL CEILING TO BE TYPE \_\_\_\_ UNO.
3. GYPSUM BOARD CEILINGS AND SOFFITS TO BE PAINTED \_\_\_\_ UNO.
4. OPEN-TO-STRUCTURE AREAS (NO CEILING), INCLUDING OVERHEAD MEPPF SYSTEMS, SHALL BE PAINTED \_\_\_\_ UNO.
5. VERIFY WITH ARCHITECT LOCATION OF VISIBLE CEILING ELEMENTS NOT SHOWN ON ARCHITECTURAL DRAWINGS PRIOR TO INSTALLATION. COORDINATE WITH OTHER DRAWINGS FOR CEILING FIXTURES NOT SHOWN ON ARCHITECTURAL DRAWINGS, INCLUDING (BUT NOT LIMITED TO) ELECTRICAL AND MECHANICAL FIXTURES.
6. FOR ELEMENTS OCCURRING IN ACOUSTICAL CEILING SYSTEMS, CENTER LIGHT FIXTURES, LIFE SAFETY DEVICES, SPEAKERS, SPRINKLERS AND OTHER ELEMENTS IN THE CENTER OF THE ACOUSTIC PANEL(S) IN BOTH DIRECTIONS, UNLESS OTHERWISE NOTED.
7. LIGHTING FIXTURES ARE DIMENSIONED TO CENTER OF FIXTURE, UNLESS NOTED OTHERWISE.
8. IF LOCATION DIMENSIONS ARE NOT INDICATED, FINAL POSITION OF ANY/ALL EXPOSED ELEMENTS SHALL BE COORDINATED WITH ARCHITECT.
9. LAY DIRECTIONAL PATTERN CEILING PANEL OR TILE ONE WAY WITH PATTERN AS INDICATED BY ARCHITECT UNLESS OTHERWISE NOTED.
10. EXTEND CEILING SYSTEM INTO CLOSET AREAS.
11. LOCATE ACCESS PANELS AS INDICATED ON THE DRAWINGS. FOR ACCESS PANELS NOT SHOWN BUT REQUIRED BY PROVISIONS OF THE CONTRACT DOCUMENTS, LOCATE IN ACCORDANCE WITH APPLICABLE CODES. FIELD VERIFY LOCATION OF ACCESS PANELS, AND MARK ON SLAB FOR ARCHITECT'S REVIEW. ENSURE ALL ABOVE-CEILING MEPPF DEVICES WHICH MAY REQUIRE SERVICE OR MAINTENANCE ARE ACCESSIBLE.
12. VERIFY THAT CEILING AND ABOVE-CEILING ELEMENTS FIT IN PLENUM AS INDICATED BEFORE PROCEEDING WITH CEILING FRAMING. NOTIFY ARCHITECT IF RELOCATION IS REQUIRED OR IF SHIFTING OF GRID OR OTHER ELEMENT ARE NECESSARY.
13. PROVIDE COVE LIGHTING, UNDERCABINET LIGHTING AND OVERCABINET LIGHTING CONTINUOUS ACROSS ENTIRE LENGTH OF ELEMENT AND WIRED THROUGH THE SIDE OF THE FIXTURES, UNLESS OTHERWISE INDICATED.
14. INSTALL SIGHT BAFFLES AT RETURN AIR SLOTS. PAINT ANY NEW OR EXISTING AREA OR ITEM ABOVE THE CEILING VISIBLE FROM THE ROOM SIDE, INCLUDING DUCTWORK, NON-SPECULAR BLACK, UNLESS NOTED OTHERWISE.
15. CEILING SUPPORT SYSTEMS ARE NOT DESIGNED OR INTENDED TO SUPPORT THE WEIGHT OF ADDITIONAL EQUIPMENT, CABLE, CONDUIT, LIGHTS, MECHANICAL EQUIPMENT OR OTHER CONSTRUCTION. SUPPORT THESE ITEMS INDEPENDENTLY FROM THE STRUCTURE ABOVE.
16. DO NOT HANG (SUPPORT) ANY ITEMS FROM METAL ROOF DECK.
17. REFER TO REFERENCE SHEET & ELEVATIONS FOR LOCATION & ALIGNMENT OF SWITCHES, THERMOSTATS, OUTLETS, AND SIMILAR DEVICES.
18. GANG SWITCHES UNDER A SINGLE COVERPLATE. SWITCHES THAT CANNOT BE GANGED TOGETHER SHALL BE LOCATED AS CLOSE TOGETHER AS POSSIBLE AND MOUNTED AT THE SAME HEIGHT.
19. ALL POWER CORDS AND CABLE SUPPORTS FOR PENDANT HUNG LIGHT FIXTURES SHALL BE PLUMB AND TIGHT.
20. WHERE EXISTING ACOUSTIC CEILING IS REMOVED, PATCH THE EXISTING CEILING GRID AND PROVIDE CEILING PANELS TO MATCH THE EXISTING CEILING PANELS THAT REMAIN.
21. THE CONTRACTOR SHALL FIELD SURVEY THE SITE OF THE PROPOSED WORK TO DETERMINE EXTENT AND NATURE OF THE DEMOLITION WORK.
22. WHERE INDICATED OR INFERRED, REMOVE THE EXISTING ACOUSTIC CEILING.
23. WHERE INDICATED OR INFERRED, REMOVE EXISTING LIGHT FIXTURES, SALVAGE FOR REINSTALLATION UNDER THIS CONTRACT, TURN OVER EXCESS FIXTURES TO THE LANDLORD. COORDINATE WITH ENGINEERING DRAWINGS.
24. LINEAR SLOT HVAC DIFFUSERS INSTALLED IN GYPSUM BOARD SHALL BE MID-IN-TYPE, UNLESS NOTED OTHERWISE.
25. WHERE THERE IS NO CEILING ASSEMBLY IDENTIFIED, LEAVE THE STRUCTURE ABOVE EXPOSED AND SHAPED WITH COLOR PT-X UNLESS INDICATED OTHERWISE.







CONSULTANTS

STRAND ASSOCIATES

629 WASHINGTON ST.  
COLUMBUS, IN 47201

STRUCTURAL

SSR, INC.

2995 SIDCO DR.  
NASHVILLE, TN 37204

MEP

SSR, INC.

2995 SIDCO DR.  
NASHVILLE, TN 37204

LANDSCAPING

MKS

200 S MERIDIAN ST.  
INDIANAPOLIS, IN 46225

OWNER

CITY OF COLUMBUS

123 WASHINGTON ST.  
COLUMBUS, IN 47201

FACILITY

FAIR OAKS MALL

2880 25TH ST.  
COLUMBUS, IN 47201

CONTRACTOR

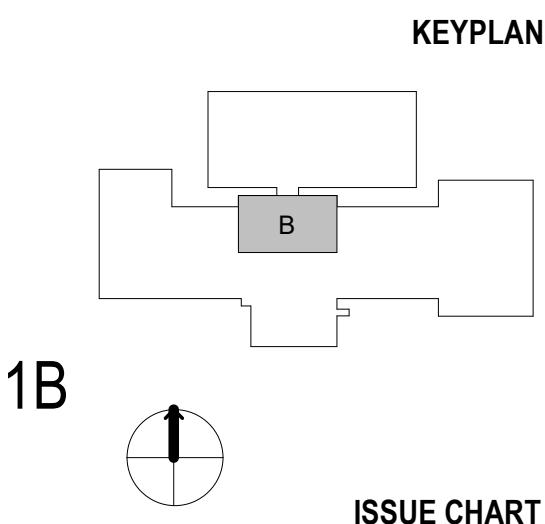
TAYLOR BROS. CONSTRUCTION CO., INC.

4655 MIDDLE RD.  
COLUMBUS, IN 47203

PROJECT

NEXUSPARK

ISSUED FOR PROPOSAL - ENABLING & PHASE 1A 03/18/2022



ISSUE CHART

DATE

Job Number

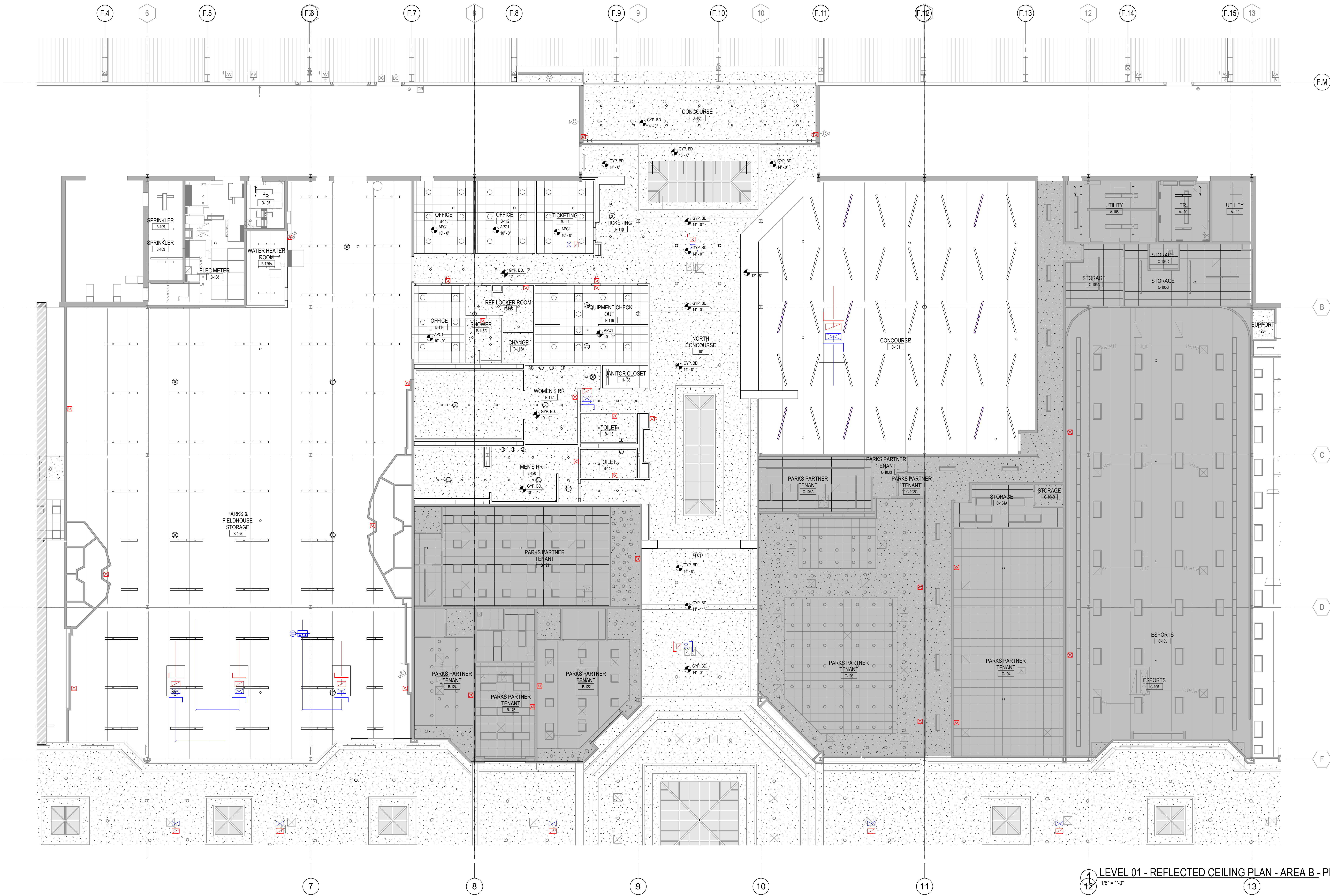
TITLE

REFLECTED CEILING  
PLAN - LEVEL 01 -  
AREA B - PHASE 1B

SHEET NUMBER

A12-12

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LEVEL 01 - REFLECTED CEILING PLAN - AREA B - PHASE 1B  
1/8" = 1'-0"

REFLECTED CEILING PLAN KEYNOTES

LEGEND

- DENOTES AREA "NOT IN CONTRACT"
- GYPSUM BOARD CEILING / SOFFIT
- ACOUSTICAL PANEL CEILING
- PROJECTOR

- FIXTURE TYPE - SEE LIGHT FIXTURE SCHEDULE
- LIGHT FIXTURE SYMBOLS
  - 2 x 4 FIXTURE
  - 2 x 2 FIXTURE
  - 1' x 4' FIXTURE
  - ROUND RECESSED DOWNLIGHT
  - SQUARE RECESSED DOWNLIGHT
  - ⊕ PENDANT DOWNLIGHT
  - ⊕ ROUND RECESSED WALLWASH
  - ⊕ RECTANGULAR RECESSED WALLWASH
  - ⊕ WALL SCONCE
  - LINEAR RECESSED
  - LINEAR PENDANT
  - LINEAR WALL MOUNTED
  - ⊕ EXIT SIGN
    - SHADE(S) INDICATE(S) LIGHT SIGN FACE
    - SYMBOL ARROWS INDICATE CHEVRON DIRECTIONAL ARROWS ON SIGN FACE(S)

- CEILING MATERIAL CODE (REFER TO FINISH SCHEDULE)
- CEILING HEIGHT
- EX EXISTING FIXTURE TO REMAIN
- ER EXISTING FIXTURE TO BE RELOCATED
- WTH WINDOW TREATMENT - REFER TO FINISH SCHEDULE SHEET
- ① KEYNOTE
- C.J. GYPSUM BOARD CONTROL JOINT
  - TRIANGLE INDICATES WALL LOCATION - ALIGN WITH EDGE OF FRAME
  - LINE INDICATES CEILING LOCATION - ALIGN WITH EDGE AS INDICATED
- CEILING MOUNTED POWER/COMMUNICATION SYMBOLS
  - ⊕ VOICE/DATA OUTLET
  - ⊕ DUPLEX POWER RECEPTACLE
  - ⊕ JUNCTION BOX
  - ⊕ AUDIO/VISUAL RECEPTACLE

REFLECTED CEILING PLAN GENERAL NOTES

1. ALL CEILING HEIGHTS TO BE \_\_\_\_ UNO.
2. ALL CEILING TO BE TYPE \_\_\_\_ UNO.
3. GYPSUM BOARD CEILINGS AND SOFFITS TO BE PAINTED \_\_\_\_ UNO.
4. OPEN-TO-STRUCTURE AREAS (NO CEILING), INCLUDING OVERHEAD MEPP SYSTEMS, SHALL BE PAINTED \_\_\_\_ UNO.
5. VERIFY WITH ARCHITECT LOCATION OF VISIBLE CEILING ELEMENTS NOT SHOWN ON ARCHITECTURAL DRAWINGS PRIOR TO INSTALLATION. COORDINATE WITH OTHER DRAWINGS FOR CEILING FIXTURES NOT SHOWN ON ARCHITECTURAL DRAWINGS, INCLUDING (BUT NOT LIMITED TO) ELECTRICAL AND MECHANICAL FIXTURES.
6. FOR ELEMENTS OCCURRING IN ACOUSTICAL CEILING SYSTEMS, CENTER LIGHT FIXTURES, LIFE SAFETY DEVICES, SPEAKERS, SPRINKLERS AND OTHER ELEMENTS IN THE CENTER OF THE ACOUSTICAL PANEL(S) IN BOTH DIRECTIONS, UNLESS OTHERWISE NOTED.
7. LIGHTING FIXTURES ARE DIMENSIONED TO CENTER OF FIXTURE, UNLESS NOTED OTHERWISE.
8. IF LOCATION DIMENSIONS ARE NOT INDICATED, FINAL POSITION OF ANY/ALL EXPOSED ELEMENTS SHALL BE COORDINATED WITH ARCHITECT.
9. LAY DIRECTIONAL PATTERN CEILING PANEL OR TILE ONE WAY WITH PATTERN AS INDICATED BY ARCHITECT UNLESS OTHERWISE NOTED.
10. EXTEND CEILING SYSTEM INTO CLOSET AREAS.
11. LOCATE ACCESS PANELS AS INDICATED ON THE DRAWINGS. FOR ACCESS PANELS NOT SHOWN BUT REQUIRED BY PROVISIONS OF THE CONTRACT DOCUMENTS, LOCATE IN ACCORDANCE WITH APPLICABLE CODES. FIELD VERIFY LOCATION OF ACCESS PANELS, AND MARK ON SLAB FOR ARCHITECT'S REVIEW. ENSURE ALL ABOVE-CEILING MEPP DEVICES WHICH MAY REQUIRE SERVICE OR MAINTENANCE ARE ACCESSIBLE.
12. VERIFY THAT CEILING AND ABOVE-CEILING ELEMENTS FIT IN PLENUM AS INDICATED BEFORE PROCEEDING WITH CEILING FRAMING. NOTIFY ARCHITECT IF RELOCATION IS REQUIRED OR IF THERE IS A CONFLICT WITH OTHER ELEMENTS.
13. PROVIDE COVE LIGHTING, UNDERCABINET LIGHTING AND OVERCABINET LIGHTING TO MATCH EXISTING LIGHTING LENGTH OF ELEMENT AND WIRED THROUGH THE SIDE OF THE FIXTURES, UNLESS OTHERWISE NOTED.
14. INSTALL SIGHT BAFFLES AT RETURN AIR SLOTS. PAINT ANY NEW OR EXISTING AREA OR ITEM ABOVE THE CEILING VISIBLE FROM THE ROOM SIDE, INCLUDING DUCTWORK, NON-SPECULAR BLACK, UNLESS NOTED OTHERWISE.
15. CEILING SUPPORT SYSTEMS ARE NOT DESIGNED OR INTENDED TO SUPPORT THE WEIGHT OF ADDITIONAL EQUIPMENT, CABLE, CONDUIT, LIGHTS, MECHANICAL EQUIPMENT OR OTHER CONSTRUCTION. SUPPORT THESE ITEMS INDEPENDENTLY FROM THE STRUCTURE ABOVE.
16. DO NOT HANG (SUPPORT) ANY ITEMS FROM METAL ROOF DECK.
17. REFER TO REFERENCE SHEET A ELEVATIONS FOR LOCATION & ALIGNMENT OF SWITCHES, THERMOSTATS, OUTLETS, AND SIMILAR DEVICES.
18. GANG SWITCHES UNDER A SINGLE COVERPLATE. SWITCHES THAT CANNOT BE GANGED TOGETHER SHALL BE LOCATED AS CLOSE TOGETHER AS POSSIBLE AND MOUNTED AT THE SAME HEIGHT.
19. ALL POWER CORDS AND CABLE SUPPORTS FOR PENDANT HUNG LIGHT FIXTURES SHALL BE PLUMB AND TIGHT.
20. WHERE EXISTING ACOUSTICAL CEILING IS REMOVED, PATCH THE EXISTING CEILING GRID AND PROVIDE CEILING PANELS TO MATCH THE EXISTING CEILING PANELS THAT REMAIN.
21. THE CONTRACTOR SHALL FIELD SURVEY THE SITE OF THE PROPOSED WORK TO DETERMINE EXTENT AND NATURE OF THE DEMOLITION WORK.
22. WHERE INDICATED OR INFERRED, REMOVE THE EXISTING ACOUSTICAL CEILING.
23. WHERE INDICATED OR INFERRED, REMOVE EXISTING LIGHT FIXTURES, SALVAGE FOR REINSTALLATION UNDER THIS CONTRACT. TURN OVER EXCESS FIXTURES TO THE LANDLORD. COORDINATE WITH ENGINEERING DRAWINGS.
24. LINEAR SLOT HVAC DIFFUSERS INSTALLED IN GYPSUM BOARD SHALL BE MID-IN TYPE, UNLESS NOTED OTHERWISE. COLOR PT. X UNLESS INDICATED OTHERWISE.







## CONSULTANTS

STRAND ASSOCIATES  
625 WASHINGTON ST.  
COLUMBUS, IN 47201  
SYNCTHENA  
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2985 SIDCO DR.  
NASHVILLE, TN 37204  
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## PROJECT

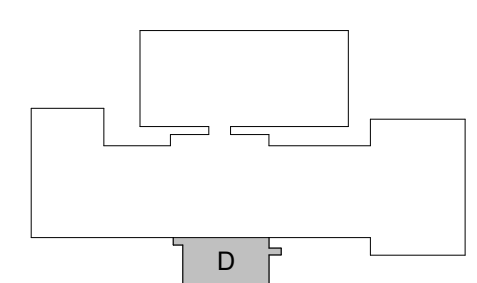
## NEXUSPARK



City of Columbus

123 WASHINGTON ST.  
COLUMBUS, IN 47201

## KEYPLAN



## ISSUE CHART

ISSUE  
Job Number

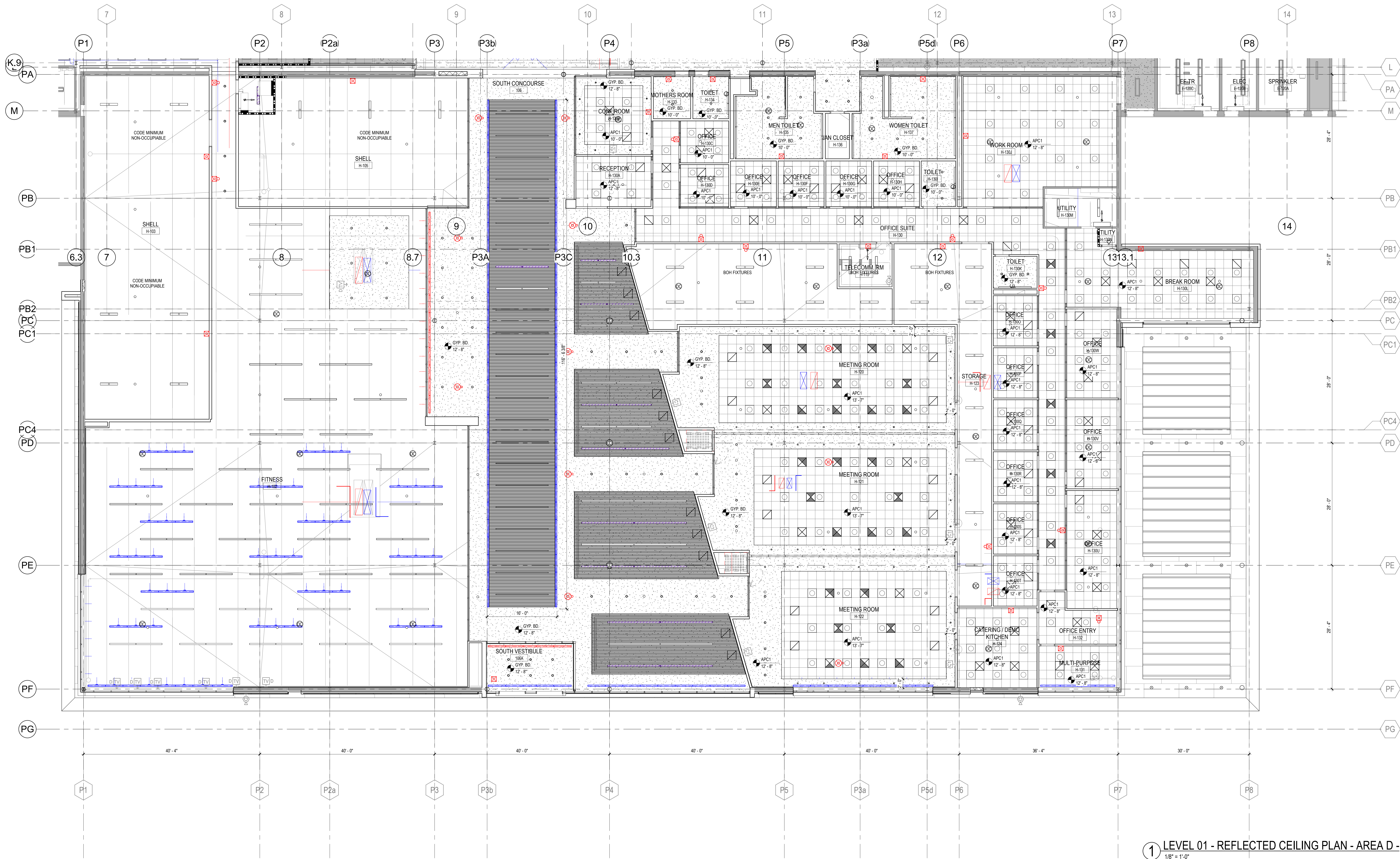
## TITLE

REFLECTED CEILING  
PLAN - LEVEL 01 -  
AREA D - PHASE 1B

## SHEET NUMBER

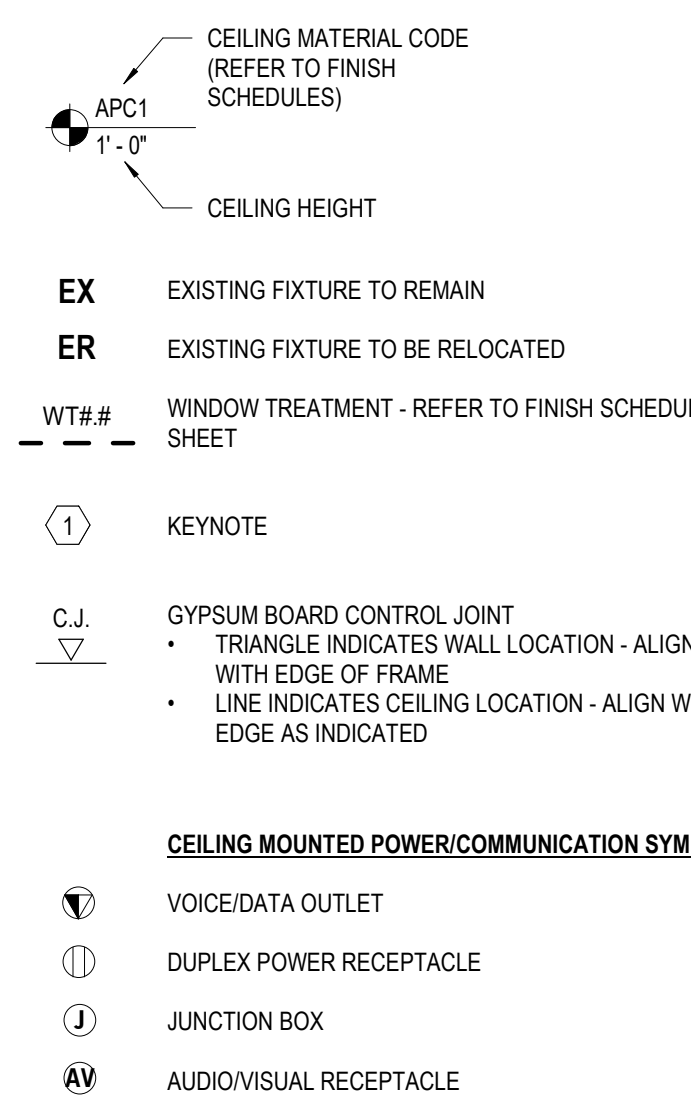
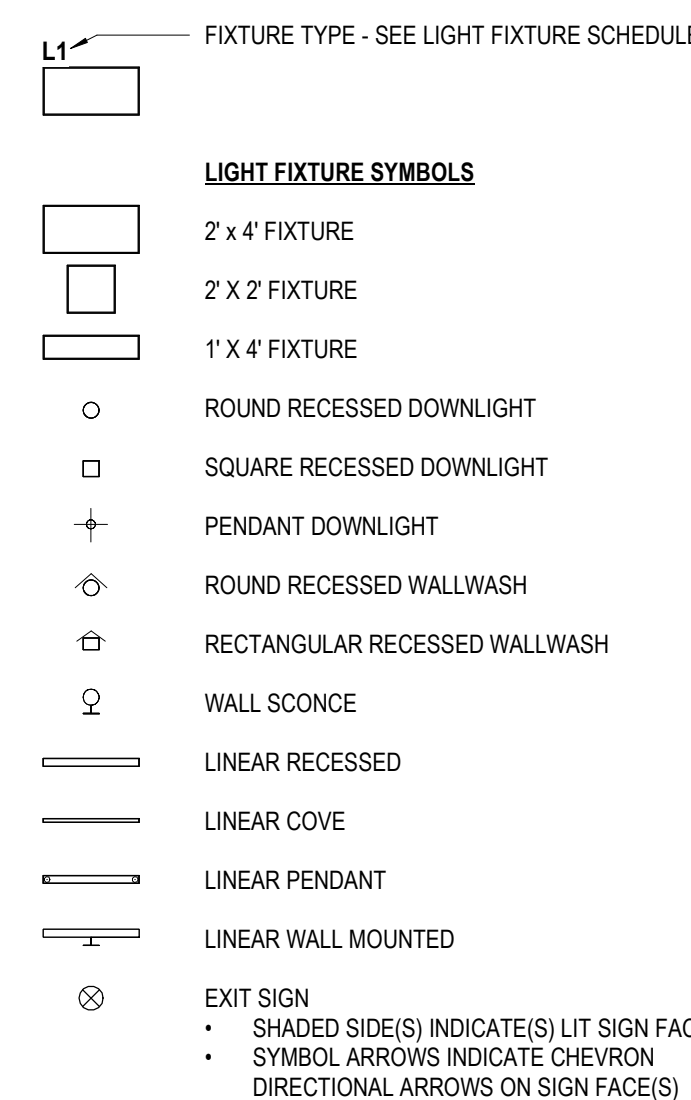
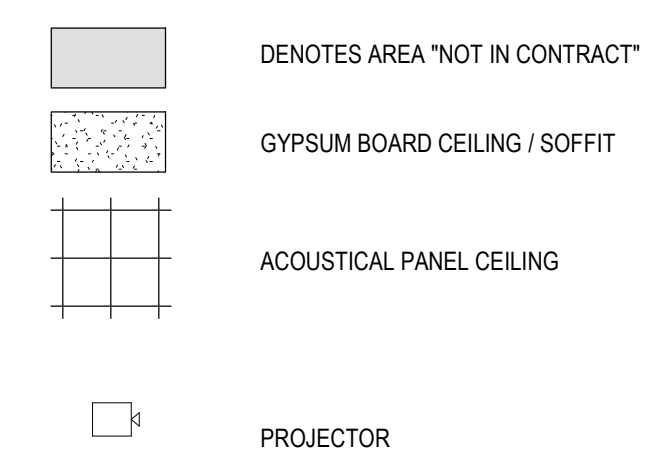
A12-14

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1 LEVEL 01 - REFLECTED CEILING PLAN - AREA D - PHASE 1B  
1/8" = 1'-0"

## REFLECTED CEILING PLAN KEYNOTES

## LEGEND



## REFLECTED CEILING PLAN GENERAL NOTES

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